



# LIVERPOOL HOUSING DESIGN GUIDE

A white silhouette of the Liverpool skyline is positioned horizontally across the middle of the page. It includes recognizable buildings such as the Royal Liver Building, the Cavern Club, and the Liverpool Cathedral, along with a ship in the harbor.

**SUPPLEMENTARY PLANNING DOCUMENT  
JUNE 2026**

PLANNING FOR A FAIRER, CLEANER, STRONGER CITY



# Foreword

We are delighted to be introducing this Housing Design Guide SPD which sets out guidance to ensure the delivery of high-quality, sustainable and inclusive new homes for our current and future residents. The Council wants to ensure new homes respond to the city's unique characters, sit well in their setting, contribute positively to their local neighbourhood and encourage community interaction through their design.

Liverpool, like all cities, is shaped by the quality of its homes. From the elegance of our Georgian streets to the energy of our inner-city neighbourhoods, and the scale of our world class Waterfront; the places we have built have always reflected our ambitions as a city. The Guide is reflective of our Council Plan in seeking:

- Homes that are built to last, look great, are sustainable and resilient for the future
- Happy and healthy homes for all, which enabling people to live independently for longer
- Homes that respond to the City's unique character and context
- Housing developments that are connected, promote sustainable travel and work for our communities
- New homes and neighbourhoods which deliver high-quality places that celebrate nature and maximise space for private or communal enjoyment for the benefit and wellbeing of residents.

The Guide establishes clear, consistent expectations in setting a benchmark for the design of new homes in thriving neighbourhoods

across our city that reflect Liverpool's pride in its people and places. It is grounded in the simple principle that every new housing development, large or small, in every part of Liverpool, can and should contribute positively to the life of our city and that of our residents.

That means homes that are well designed, attractive, built to last and offer choice. Neighbourhoods that are connected, safe and welcoming. Places that reflect Liverpool's character, while meeting the needs of a changing and growing population.

As a Marmot City, we understand that housing is central to tackling inequality. The design of our homes and neighbourhoods is one of the most powerful ways we can improve health, widen opportunity, and create a city where everyone can thrive and have a sense of belonging. The Housing Design Guide SPD places those outcomes at its heart.

It has been shaped through positive and proactive engagement with residents, professionals and young people across Liverpool. Their priorities – quality, character, green space and a sense of belonging – run through the core of this document.

The guide is about setting the right framework and certainty for developers so that new homes deliver quality for our residents, for our communities and for the long-term success and growth of our city. The Guide sets out a clear direction for our future; to ensure that our City's ambitions for delivering growth is matched by quality.



**Cllr Nick Small - Cabinet Member for Growth and Economy**



**Cllr Hetty Wood – Cabinet Member for Housing**





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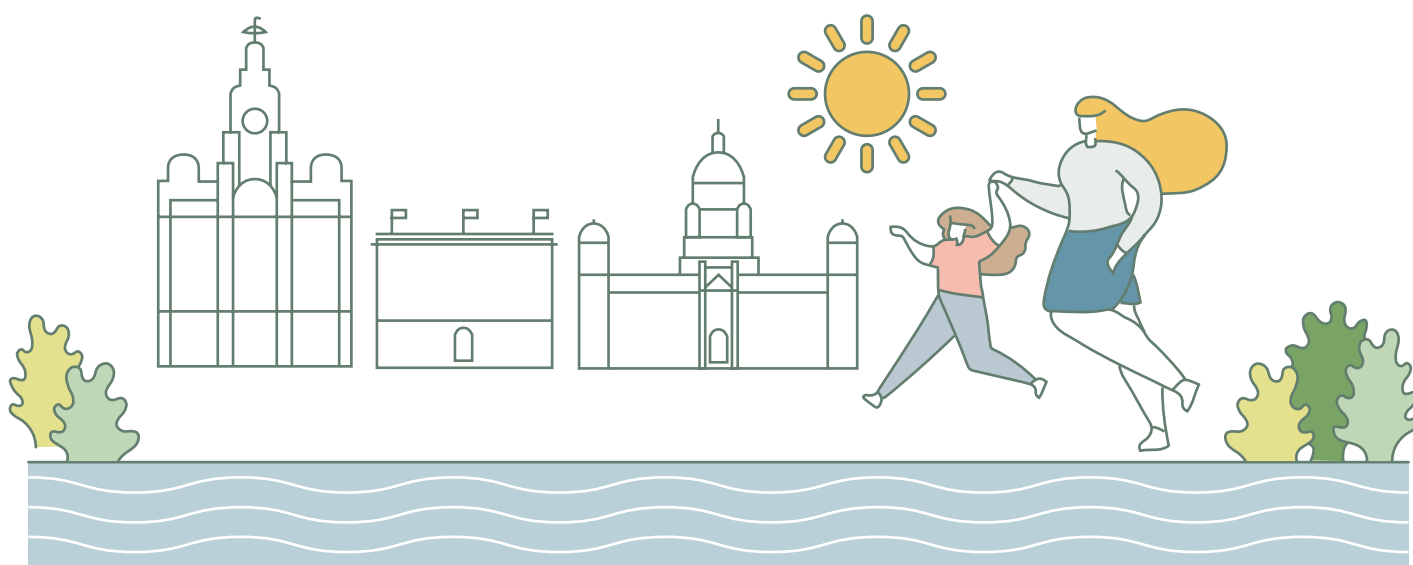
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# Introduction

## What is this document?

This is a Supplementary Planning Document (SPD) that provides guidance to ensure the delivery of high quality, sustainable, inclusive and attractive new homes and neighbourhoods in Liverpool. It is written to build upon policy in the Liverpool Local Plan and other adopted SPDs and provides necessary clarity on design and placemaking outcomes which support the Council's vision for housing development within Liverpool. As an SPD, it is a material consideration in the determination of planning applications.

Liverpool City Council (LCC / the Council) has a number of SPDs that help support the commitment to high quality housing, set requirements for certain areas or types of buildings, protect and enhance the character of Liverpool's neighbourhoods and help the city achieve net zero carbon by 2030.

All SPDs can be found online at:

[www.liverpool.gov.uk/planning-and-building-control/plan-making-in-liverpool/local-plan-supplementary-documents-and-guidance/](http://www.liverpool.gov.uk/planning-and-building-control/plan-making-in-liverpool/local-plan-supplementary-documents-and-guidance/)

## Why does Liverpool need a Housing Design Guide?

In 2025 Liverpool was recognised as a Marmot City – a national marker of a commitment to tackling health inequalities. Housing is central to that mission. The quality of the homes and neighbourhoods we live in is one of the most powerful social determinants of health. Well designed, good quality housing doesn't just provide shelter, it shapes physical and mental wellbeing, gives people a sense of security, and underpins healthier, fairer communities. The Council is committed to putting health equity at the heart of housing design, ensuring every new home and neighbourhood helps to narrow health gaps and raise quality of life across our city.

This Housing Design Guide SPD sets the standard for high quality homes. It reflects the ambition to shape the next chapter of Liverpool's growth through enduring quality that meets the needs of everyone who calls this city home, today and for generations to come.

Sefton



Knowsley



# Introduction

## Who is it for?

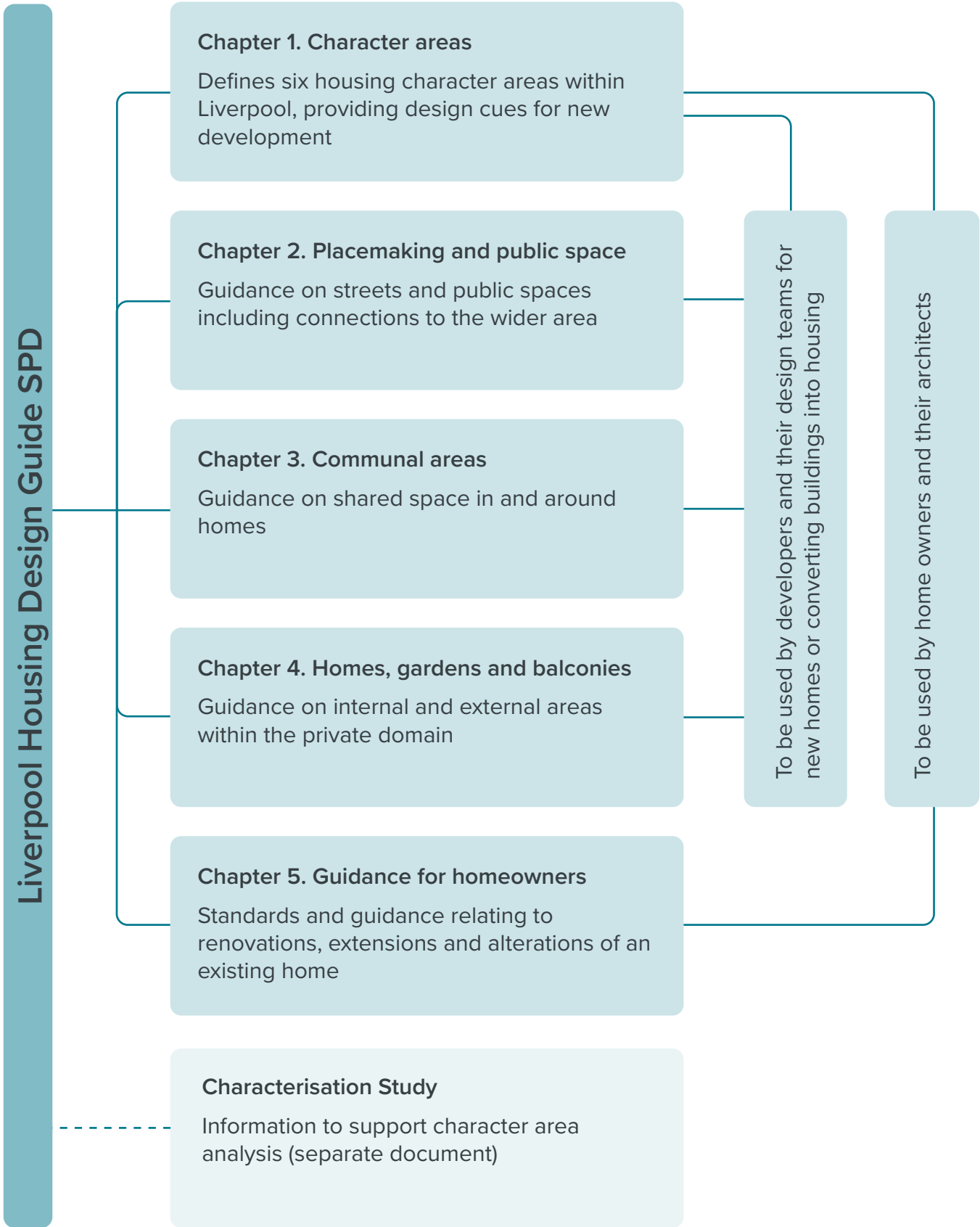
This guidance is for landowners, prospective developers, agents, architects and design teams who intend to build new homes\* and for private home owners who wish to extend or alter existing homes. The SPD will also be used by planning officers in assessing the design quality of planning applications during pre-application discussions and determination, and inform Councillors' decision-making, ensuring consistency in advice and decision making.

All users must read Chapter 1 to understand which character area their development is within, as it demonstrates traits and characteristics that must be maintained and enhanced. Chapters 2-4 are for new housing developments and conversions into housing and Chapter 5 is for homeowners who wish to improve, extend or alter their home.



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\* Housing types covered are shown on page 5





# Introduction

**Additional information for new homes and conversions:** Once developers have established which character area their project sits within (Chapter 1), they will need to ensure their design proposals meet the guidance in Chapters 2-4 which cover placemaking and public realm, communal areas and homes, gardens and balconies.

This SPD covers all tenures within the housing types set out below and uses icons to identify specific design guidance related to that type. The definitions of each housing type can be found in the Glossary in Appendix A.

## Mainstream housing



Houses and flats, *planning use class C3*

## Later living, specialist housing for older people



Independent living, *planning use class C3*



Extra care, *planning use class C3/C2*

## Homes with shared facilities



Large-scale purpose-built shared living (co-living), *planning use class sui generis*



Houses of multiple occupation (HMO)\*, *planning use class C4 and sui generis*



Purpose-built student accommodation (PBSA), *planning use class sui generis*



Care homes\*\*, *planning use class C2*

This guide does not provide specific guidance on other housing types such as supported living or homes for looked after children, although the general design principles set out in this document will be considered by planning officers.

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\* C4 use class for 3-6 individuals and sui generis for homes 7-18 individuals. For developments with 19+ bedspaces of non-self-contained housing, the Council will seek to apply guidance for co-living housing.

\*\* High level design quality guidance but Liverpool would expect applications to come forward only from experienced, specialist providers.

Due to the specialist nature of these types of accommodation, the design of such housing schemes should include the provision of accessible accommodation and additional facilities or features, as required, to fulfil the range of support needs of residents. For other housing types, applicant and design teams should work closely with care providers and stakeholders to understand the particular needs of future residents to provide a high-quality scheme which supports the best quality of life possible.

**Additional information for householder developments:** Sections of this guidance are for homeowners who wish to renovate, extend or alter a home; a building that is, and will remain use class C3. Homeowners must understand which character area their building is in by reading Chapter 1, then review the guidance in Chapter 5.

The information in this document does not remove or alter permitted development rights, but the Council would welcome permitted developments which adhere to these best practice principles. It is worth noting that permitted development rights may be restricted or removed in conservation areas, which would trigger a planning application. The list of Liverpool conservation areas is here:

<https://liverpool.gov.uk/planning-and-building-control/trees-hedges-and-conservation/conservation-areas/>

Homeowners must be aware that there are also certain types of alterations which might sit outside or beyond this guidance. These include:

- Work to make a home more accessible for someone with a disability or terminal illness. In such cases, work outside this guidance may be permitted, particularly where it is reversible to preserve historical character.
- Proposals with significant sustainability credentials may be given special dispensation.

If you are unsure whether your works will require planning approval, it is strongly advised that you discuss your plans with the Council's Planning and Building Control teams before submitting a planning application or starting building work.

It is also recommended you inform your neighbours for any type of home improvements that will affect them, to show good will. It will likely make any discussion over proposals easier and therefore the planning process, if required, smoother.



# Introduction

## How should it be used?

The guidance explains good design principles and approaches and is written as '*must*' and '*should*' which separates requirements and best practice expectations. The '*should*' points are expected to be included where possible. A proportionate number of '*must*' points are included which are reflective of expected policy requirements in the Local Plan.

The Council has released this guidance on a '*comply or justify*' basis, meaning any deviation from the standards in this guide needs to be demonstrated through robust evidence-based reasoning for LCC to review.

**Comply:** Applicants are required to demonstrate how the design of their project complies with the guidance. Sometimes there may only be one response possible for achieving compliance, in some instances there may be a variety of ways the guidance can be complied with. Evidence may be in formal pre-application information and / or in the Design and Access Statement or other accompanying information.

**Justify:** LCC will always encourage innovative and exemplar design solutions and are open to proposals that depart from design guidance with creative solutions. Applicants are able to justify why an alternative design response was taken and how that will result in a better design outcome which provide high quality homes that respect Liverpool's unique context and character. Each justification will be assessed on its merits by Council officers so must be accompanied with explanations, plans, drawings, visualisations and models as necessary.

The compliance and justifications against the guidance in this document will be assessed via a compliance statement which is part of the planning application validation requirements. The compliance statement can be downloaded from LCC's website: <https://liverpool.gov.uk/planning-and-building-control/applying-for-planning-permission/forms-and-checklists/>. Where the guidance is neither met or justified, the scheme may be refused.

**Pre-application meetings and Design Review Panels:** It is highly recommended that applicants engage early with the LPA so the Council are aware of the opportunities and constraints associated with each development site. Topics covered in this guide can be discussed from first principles and development teams will have a steer on how the guidance will be integrated into the scheme.

For significant or complex schemes, the Council advocate the use of independent Design Review Panels. The review process is a well established way of evaluating development proposals by multi-disciplinary experts with local experience and is supported by national guidance. Design Reviews support applicants, planning officers and councillors by advising on the design quality topics covered in this guidance and help build confidence in decision-making. The process complements, rather

than replaces, advice from statutory consultees, local authority design expertise, or community engagement.

Although schemes can be reviewed at all stages of the planning application process, design review is most valuable when undertaken early during the concept design stage and revisited during pre-application and implementation stages to build on previous recommendations. During the design review process, Liverpool City Council also encourage a review of social value. This should consider the social impact of the development; including skills, learning, job creation, access to amenity and other key indicators.

### How will it be enforced?

This is an SPD, meaning the principles set out in this document will be used as a material consideration in a planning application. Therefore, it is expected that development proposals will follow the design principles in this guidance document. The diagram below shows how the guidance will be used at various stages of the design process.



This guide builds upon other guidance and advice notes and should be used alongside all other relevant planning documents. Information can be found on LCC's website or by booking a pre-application meeting with the Local Planning Authority (LPA) at [planning@liverpool.gov.uk](mailto:planning@liverpool.gov.uk).



# Introduction

In assessing the quality of proposals for housing development the Council will consider national design guidance from establishments such as Building Research Establishment (BRE) on daylight and sunlight, and Secured by Design (SbD) on security. It is therefore recommended that these inform design proposals from the outset.

This guidance does not provide information on land ownership, Building Regulations, Health and Safety, Building Safety or Party Wall (Act 1996) matters. These fall outside of the planning system but are all legal requirements which could affect design and should be considered before a planning application.

## How has it been produced?

Liverpool City Council have employed a professional team to help write this SPD, led by Levitt Bernstein. Arup has provided planning guidance and If\_Do has coordinated the public engagement events.

The team also held workshops with local developers, architects, agents and housing providers to understand the challenges of delivering housing in the city.

Before writing, the team engaged with local people to ensure this guidance represents what Liverpool residents want and need. A public questionnaire was hosted on LCC's website and social media between March and May 2024 attracting 377 anonymous responses from across the city.

There was also a drop-in event at Liverpool Central Station Shopping Centre in April 2024, for local people to tell the team how they felt about their area and their priorities for new housing.

Liverpool is working towards its ambition to become recognised by UNICEF UK as a Child Friendly City, where councils and partners work together to put children and young people's rights, well-being and voices into local policies, practices and provision of services. LCC aims to create environments to meet the needs of children and young people, where they feel safe, welcome, supported and have the opportunity to flourish.

To ensure this document represents the views and interests of children, the team contacted schools across Liverpool with an engaging activity to think about their homes and their neighbourhood. The team then held a day-long workshop with Liverpool Schools' Parliament where children took part in tasks to discuss what they like and don't like about their homes and neighbourhoods and present ideas for the future of housing.

The anonymous quotations throughout this document are from adults and children, taken from the questionnaire and the public events.



Liverpool residents making place-specific comments on their neighbourhoods - attaching to city-wide map



Liverpool residents prioritising aspects of good housing design for new homes



Liverpool students debating the most important aspects of new housing at the Schools' Parliament event



# Liverpool's Housing Vision

The ambition of this SPD is to ensure a new generation of homes in Liverpool set a benchmark for housing quality in the UK. This guide builds on existing approaches to new housing in the city – as a civic duty to build well, to build beautifully, and to build for everyone.

Liverpool City Council want to ensure new homes respond to the city's unique character, sit well in their setting, contribute positively to their local neighbourhood and encourage community interaction through their design.

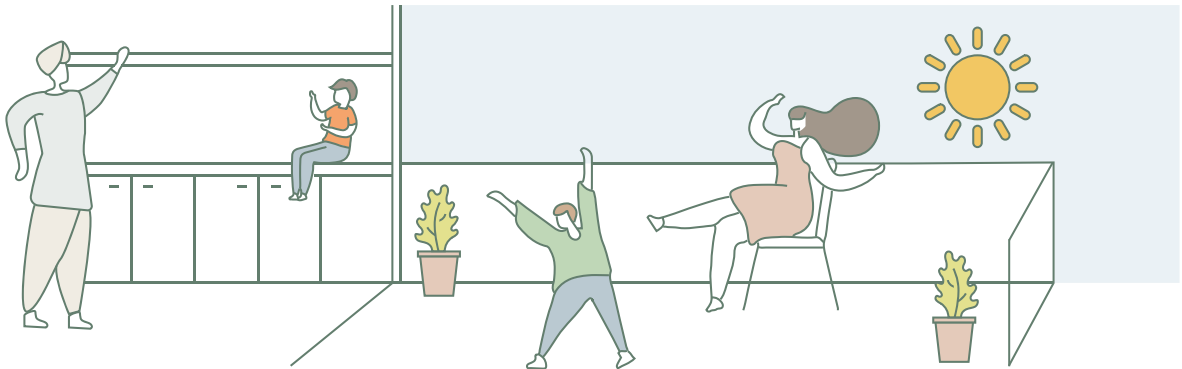
This guidance is rooted in Liverpool's identity: homes that speak to their surroundings, bring people together, and stand the test of time. It supports development that is not only attractive and sustainable but genuinely life-enhancing – setting a standard for quality that reflects Liverpool's pride in its people and places.

**These five vision points summarise the aspiration:**

1. Homes fit for Liverpool's future
2. Happy and healthy Liverpool homes for all
3. Building on Liverpool's character and identity
4. Building connections and communities
5. Leading with landscape

## 1

## Homes fit for Liverpool's future



- Homes that are built to last, sustainable and affordable to run will make them resilient for the future.
- Well detailed homes that look great and age well will instil a sense of pride in residents now and in the future.
- Homes that are light-filled, spacious and comfortable will improve prospects for children and young people who form the foundation of a thriving future Liverpool.

## 2

## Happy and healthy Liverpool homes for all



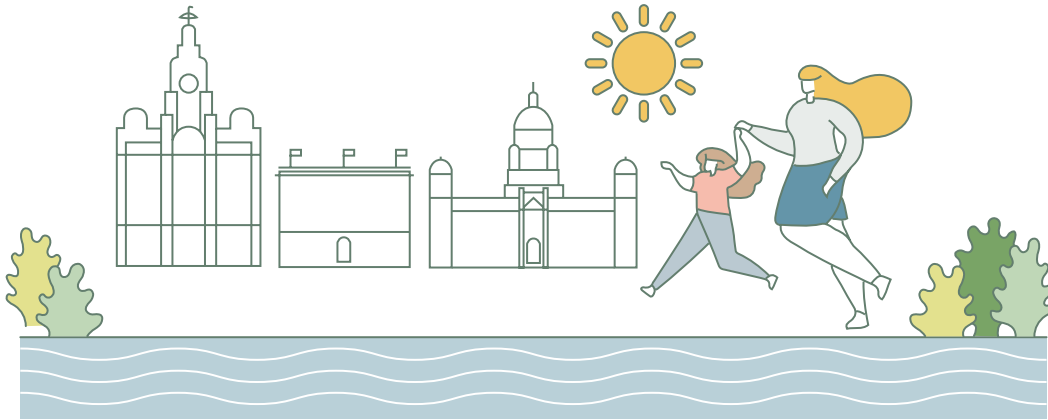
- Flexible homes will enable people to live independently in their community for longer if their needs change.
- Developments that facilitate the emerging independence of children will create friendly and connected communities.
- High quality specialist housing in the right locations across the city will benefit all in the community.
- Sustainably designed homes which use passive design will be more healthy and affordable for current and future residents.



# Liverpool's Housing Vision

## 3

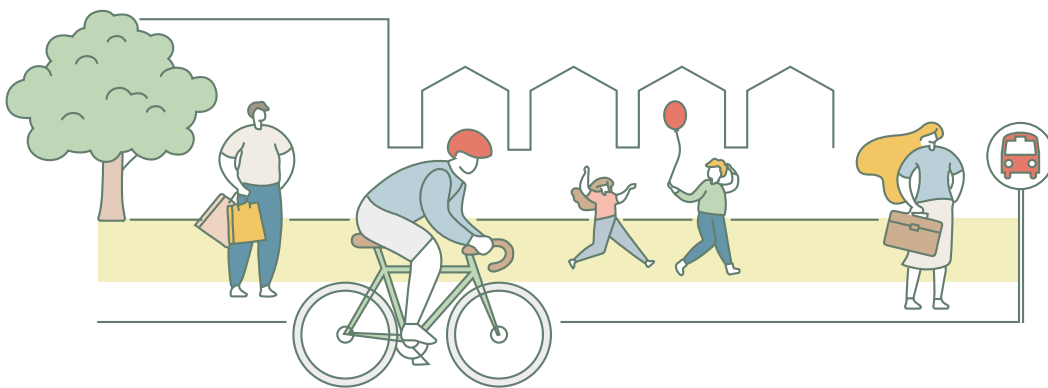
### Building on Liverpool's character and identity



- Developments that respond positively to Liverpool's heritage will form a positive contribution to the city's fabric and strengthen its unique character.
- Developments that take a contextual approach and maximise existing heritage assets can enhance the context and benefit new and existing communities.
- Retaining and enhancing existing building fabric will breathe life back into old buildings which are already rooted in the city and contribute to the city's unique character.

## 4

### Building connections and communities



- On major developments, meaningful engagement with local communities will provide insight to help unlock the potential of the site.
- Maximising connections to local public transport networks and promoting sustainable modes of transport and connectivity to waterways, docks, parks and community spaces will help create a city that is attractive and navigable.
- Prioritising community spaces and environments that enable safe and wider access for children will create areas that are safer, greener and more usable by all.

## 5

## Leading with landscape



- Maximising space for private or communal enjoyment will benefit the mental health and wellbeing of residents.
- Well designed landscape will encourage people to interact and get together, which will strengthen communities.
- Well considered landscape will make higher densities feel more attractive and liveable.



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# Chapter 1: Character areas

The City of Liverpool has grown over centuries from a small tidal pool to a maritime powerhouse and each layer of development is reflected in the character of its grand civic buildings and cathedrals, streets and public spaces. But it is housing which forms so much of its urban texture, from the conversions of vast brick industrial warehouses lining the city's historic waterfront, to the Georgian Quarter's elegant terraces, the villas of Croxeth and leafy Sefton Park, to the tightly packed Victorian streets of Kensington, Toxteth and Liverpool North.

The city's morphology, shaped by docks, hills and the river, creates a palimpsest where Victorian grandeur meets contemporary reinvention. Each of these characters requires a contextual and bespoke framework for new housing, from micro home extensions and retrofit projects to the macro scale of dense residential towers and neighbourhood wide regeneration.



This chapter defines character areas across the city and sets 'design cues', informed by the qualities and features that must be protected and enhanced through any new development in that neighbourhood. Whilst there are examples of buildings which do not follow the predominant character, it sets a starting point for appropriate development in these areas.

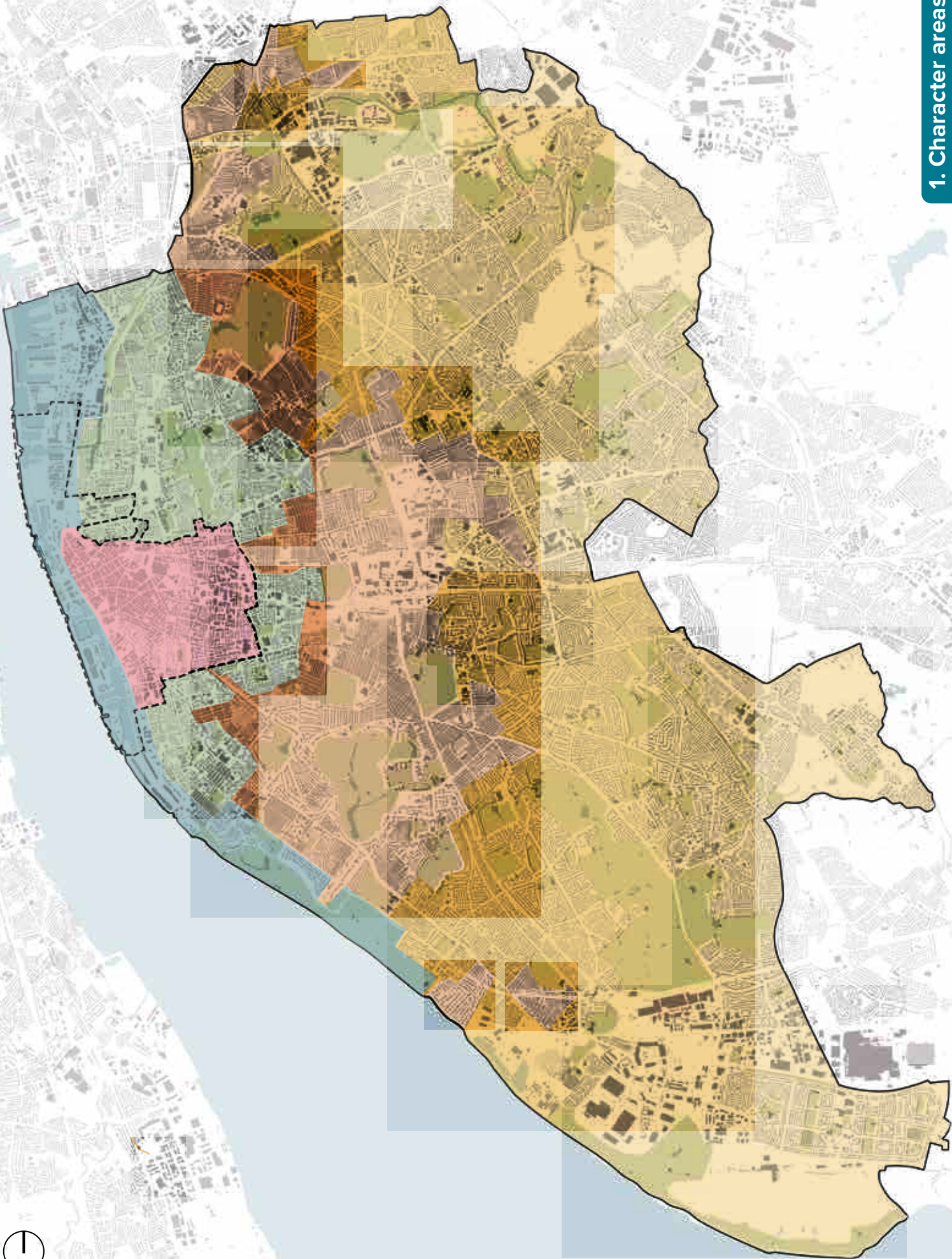
This analysis is a result of research which is set out in a Characterisation Study (separate document) as part of this SPD. This document details the history and characteristics of the city and will help inform contextual responses from applicants. The document can be found in the drop down menu to the Housing Design Guide SPD, at this link: [liverpool.gov.uk/localplandocuments](https://liverpool.gov.uk/localplandocuments)

The six broad character areas are defined as:

- City centre core
- Waterfront corridor
- Inner neighbourhoods: higher density
- Inner neighbourhoods
- Suburban
- Suburban: lower density
- City centre boundary (Local Plan map)

For information and guidance on development proposals within conservation areas, refer to LCC website and the Historic Environment SPD.

For a larger map to help assess which area your development is in, please visit <https://lcc.dynamicmaps.co.uk/MapThatPublic/Default.aspx>



Housing Character Areas Map. Areas are broadly indicative of character.

## 1.2 City centre core

The heart of the city with vibrant areas of mixed use and some of the most treasured heritage assets. There is an opportunity to mix housing with commercial and cultural uses within historic street networks.



### Key parameters and townscape character

- Important civic buildings
- Areas of specialist housing including student accommodation in the Knowledge Quarter
- Varied mix of development over time from Georgian and Victorian buildings to post-war low-density housing and medium to high-density modern flatted buildings
- Significant number of conservation areas and heritage assets including listed buildings
- Well connected and accessible by train and bus
- Land rises significantly to the east





## Design Cues

- Street layouts are mainly linear, traditional and formal
- Sensitive areas, such as the Georgian Quarter are built to relatively high-density but are not high-rise
- Historic buildings have classical order and proportions
- Raised entrances add a sense of grandeur along public routes
- There is a limited pallet of high quality materials such as red brick, and stone
- Ground floors are often articulated differently to upper levels even where the building is a single use

## 1.3 Waterfront corridor

The western corridor fronting the Mersey, with buildings dating from the earliest Old Dock in 1715, reflecting Liverpool's rich industrial past. This area includes the North Docks and King Edward Triangle. There is an opportunity to celebrate heritage and create vibrant neighbourhoods with housing and other uses.



### Key parameters and townscape character

- Mainly industrial land and docks
- Emerging mixed use residential development on the waterfront
- Mixed density, rising towards the city centre
- Pockets of detached and semi-detached housing
- Designated and non-designated heritage assets principally located within the central zone
- Well connected and accessible by train and bus
- Land rises up from the Mersey to the eastern part of the city centre





## Design Cues

- Streets are linear and run perpendicular to the waterfront
- There is a wide range in building height and form along the waterfront which creates rhythm and variety
- Robust, industrial buildings and ‘wharf architecture’ represent the distinct maritime character
- Conversions of historic buildings are prevalent and maintain details and character hinting at the former use
- Buildings are constructed using robust materials and include planting suitable for a riparian environment
- Buildings often feature arched openings, and deep reveals

## 1.4 Inner neighbourhoods: higher density

The areas of housing are built at low to medium density with loose and non-traditional street patterns. There is an opportunity to increase housing in these well-connected neighbourhoods through a gentle increase in density.



### Key parameters and townscape character

- Predominantly residential area
- Modern housing estates (later half of twentieth century) built at low - medium density
- Good provision of public green space although a lack of street trees
- Houses mainly built of brick with pitched roofs
- Well connected and accessible by train and bus
- Development along waterways / canal



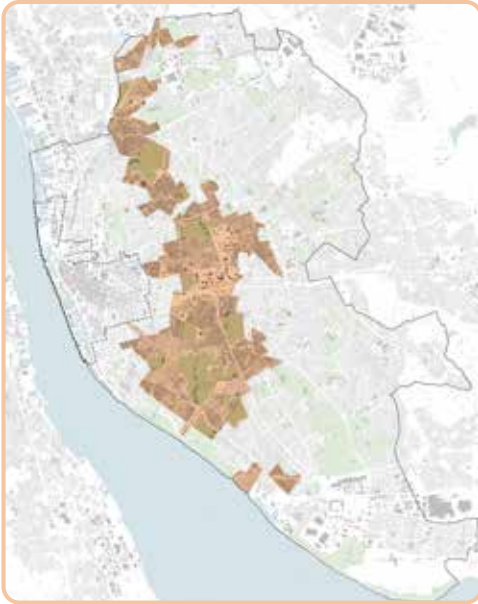


## Design Cues

- Street layouts are less formal than traditional city blocks
- Houses and low-rise apartment buildings mean buildings are generally two to four storeys
- Housing is typically brick-built with pitched, slate roofs
- The area was badly bombed and the rebuilt housing is generally traditional, but varied - reflecting the styles of the past century
- Front gardens / defensible space is generally shallow
- The area's strong public transport links mean parking requirements are relatively low
- Water / canal-side development offers unique access and character opportunities

## 1.5 Inner neighbourhoods

These grand villas from the Georgian and Victorian eras are arranged in traditional street patterns. There is good access to parks and public transport and numerous heritage assets and conservation areas.



### Key parameters and townscape character

- Predominantly housing, with access to local centres
- Mostly terraced houses
- Larger villas mainly around parks, some are converted into flats
- Good access to parks and green space
- Well connected and accessible by train and bus
- Designated and non-designated heritage assets and numerous conservation areas



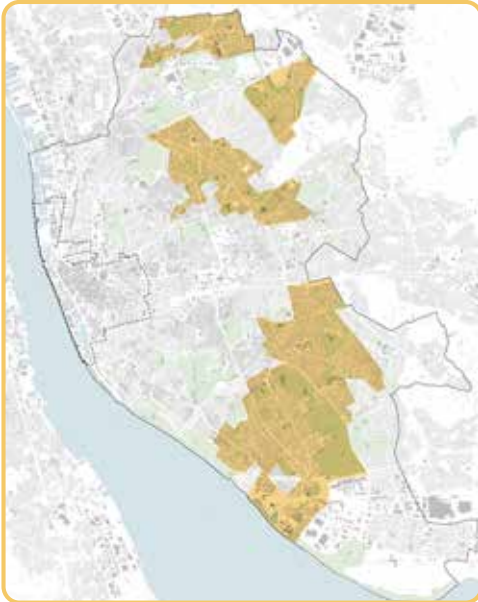


## Design Cues

- Predominantly two and three storey homes with terraces and detached villas with some flatted buildings
- Green landscape is integral to the streets and public spaces
- Housing is mainly built in brown and red brick
- Buildings generally display vertical proportions, rhythmic façades and ornamental detailing
- Roof forms are mainly pitched but vary to include hipped, mansard, and raised parapets
- Terraced houses typically feature shallow front defensible spaces, defined by low brick walls, cast iron railings, and low kerbs.

## 1.6 Suburban

This area is formed of low to medium density housing built in the early twentieth century. The streets are designed around car ownership with homes further from local centres and public transport. There are small but frequent pockets of green public space.



### Key parameters and townscape character

- Modern housing developments arranged in varied street patterns
- Terraced and semi-detached houses mainly, with generous front gardens used as driveways
- Generous rear gardens to most houses
- Low - medium density broken by pockets of green public spaces
- Poorer access to public transport and local centres





## Design Cues

- Street layouts are organic and varied, often curving and meandering, reflecting a more informal and spacious urban grain
- Low to medium density housing is built at low-rise
- Small but frequent green spaces help give the area a suburban character
- Façades are typically horizontally proportioned with a strong emphasis on symmetry and detail
- Roofs are mainly pitched with red clay tiles and some tile hung walls
- Generous front and rear gardens supporting parking

## 1.7 Suburban: lower density

The housing is more generous in these neighbourhoods further from the city centre. This area includes garden suburbs designed to foster a sense of community. Many areas have their own high street, although there is a reliance on cars.



### Key parameters and townscape character

- Modern housing developments arranged in varied street patterns
- Terraced and semi-detached houses mainly, with generous front gardens used as driveways
- Generous rear gardens to most houses
- Low density with generous green public spaces
- Poorer access to public transport and local centres





## Design Cues

- Streets are wide and arranged in linear and radial arrangements with consistent building lines
- Houses are generally on large plots
- Front boundaries are usually defined by low brick walls, fencing, or hedgerows, with rear gardens also generous and enclosed by fences or planting
- The materials and style is varied, although brick is the predominant material
- Green spaces help give the area an identity and reinforce the suburban character





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# Chapter 2: Placemaking and public space

Liverpool's greatest strength is our people, and the spaces in which we live, work, meet and gather are the backdrop to our lives. Our unique and cherished cityscape – rich with history, culture, and community – illustrates how the architectural quality of our streets and public spaces is vital in shaping our sense of belonging.

Liverpool is a city of rich architectural heritage which inspires a sense of pride in communities and draws people to live and work in the city. The challenge for the future is to continue the ambition and drive for quality set by our forebears.

Our local neighbourhood is as much a part of our identity as our individual home. Placemaking is the process of designing these spaces with care and intelligence, understanding not just a physical site but the stories, rhythms and relationships that define our neighbourhoods. This process begins with a deep understanding of the place, its physical features, history and unique character.

This guide promotes new development that looks beyond its site boundary to relate to the existing and emerging context, to create neighbourhoods that are grounded in place, and which are reflective of the people who use them.

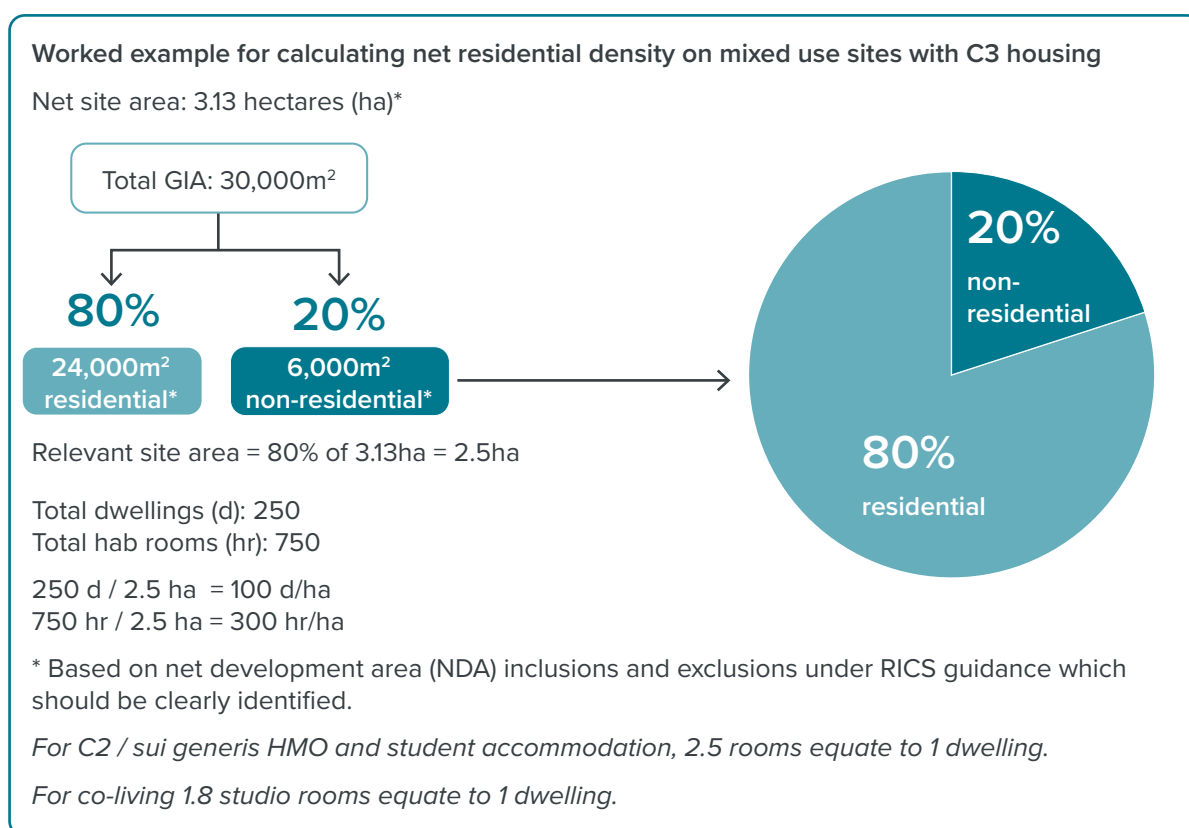
Above all, successful placemaking must reflect the needs and aspirations of a neighbourhood's specific community. Streets and public spaces must be designed to be vibrant, high quality, welcoming and safe, robust and inclusive. Such development will support the growth of rooted and resilient neighbourhoods, allowing communities to grow, thrive and prosper.



## 2.1 Site layout

1. The placemaking principles are fundamental to all other elements of design and affect every aspect of housing design. Proposals **must** be carefully considered, place-specific and contextual.
2. Developments **must** follow a design-led approach. In major schemes, an options appraisal and contextual assessment is an integral part of the design process to demonstrated in pre-app discussions and within the planning application.
3. For developments with 20 homes or more, applicants **should** undertake a design review panel. For developments of 50 homes or more, including mixed-use schemes, a minimum of two design review panels **should** take place, one of which **should** be early on in the design process.
4. For strategic major developments, options for meanwhile use **should** be considered in dialogue with local communities.
5. Within the planning application, the proposal **must** demonstrate how local distinctiveness has positively informed and influenced the proposal.
6. New development **must** respond positively to the unique characteristics of the site's topography and landscape and seek to maximise the benefits of these.
7. Larger major developments **should** create an independent character of their own. The need to respect local context becomes more important towards the edges of the development where the emphasis on integrating with the local urban form **should** be clear and contextual.
8. Where relevant, site layout, building heights and form **must** consider impact on Liverpool's key views which are set in the Local Plan.
9. New developments within or close to conservation areas **should** consider views to and from them.
10. Heritage assets make a contribution to a unique sense of place. If the site contains heritage assets or their settings, the significance **should** be understood, preserved, enhanced and integrated into the design as appropriate to its significance.
11. Opportunities to develop on smaller infill plots **should** be considered alongside reuse and retrofit. Infill development can enhance existing character and bring unity in fragmented areas.
12. Infill developments **should** be strongly linked to the character of the place and take cues from their surroundings.
13. Larger developments **should** consider non-residential uses at lower floors, particularity at ground floor in locations where privacy, daylight and amenity will be compromised for residents.
14. Ground floor uses that cultivate community and cultural activities to support the new homes and wider community should be considered.

15. Designs **should** realise opportunities to integrate design features that celebrate Liverpool’s heritage and support the cultural identity and expression of its diverse communities.
16. Developments **must** ensure proposals do not inhibit or limit development on neighbouring sites through careful consideration of site layout, access and orientation, including windows.
17. Planning applications for major developments **must** provide the following to identify the gross and net density calculations for:
- Number of dwelling units (homes) per hectare
  - Number of habitable rooms per hectare
- For further information, refer to RICS guidance ‘Land measurement for planning and development purposes’ (2021), or subsequent successor guidance.*
18. Mixed-use sites **should** follow the ‘relevant site area’ principle in the worked example.



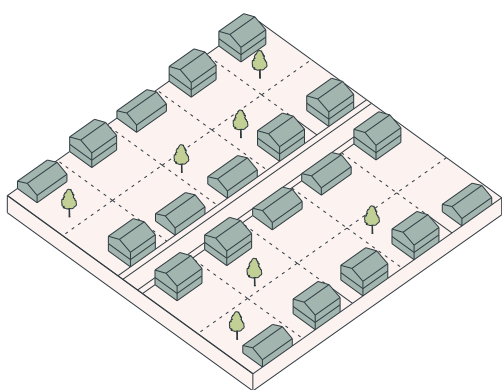
19. Plot ratios and site coverage **must** be stated in the design and access statement for mixed-use developments. Plot ratio is the ratio of total development floor area (measured on the basis of GIA) to site area. Site coverage is the ratio of ground floor area occupied by buildings (measured on the basis of GEA) to site area.

# 2.1 Site layout

20. For larger developments, densities **should** vary across the site and a range of housing and building types **should** be introduced to create an attractive and diverse neighbourhood.

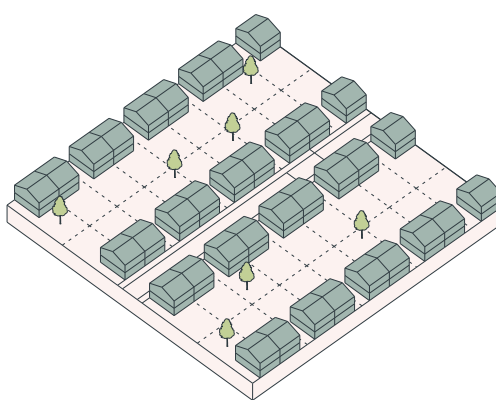
## Low-density

15-30dph



This density is suburban in character, with detached houses and bungalows with large private gardens.

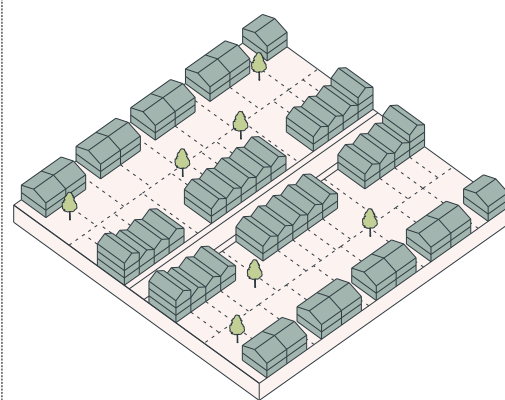
30-60 dph



This density is suburban in character, with predominantly semi-detached and detached houses of 2 storeys and private gardens.

## Medium-density

60-90 dph



This density is urban in character, with mainly terraces of 2-3 storeys with private gardens.

City centre core

Waterfront corridor

Inner neighbourhoods: higher density

Inner neighbourhoods

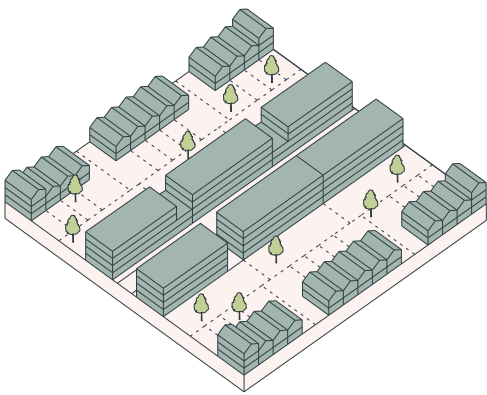
Suburban

Suburban: lower-density

21. Where a high-density housing development is proposed, the developer **should** engage with planning officers. Early engagement provides clarity, sets expectations for placemaking and design quality and assists in securing delivery of long-term high quality homes and spaces.

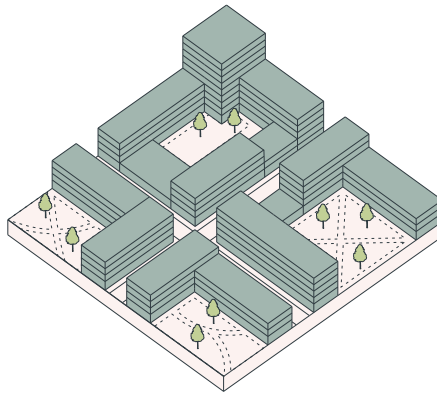
High-density

90-150 dph



This density includes a mix of terraces and low rise apartment buildings of up to 3-4 storeys.

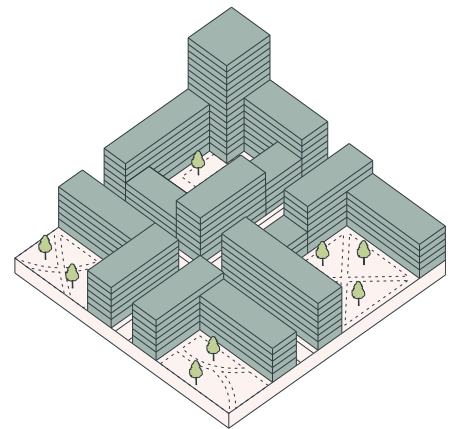
Medium rise  
150-300 dph



This density includes medium rise buildings with taller elements marking key locations.

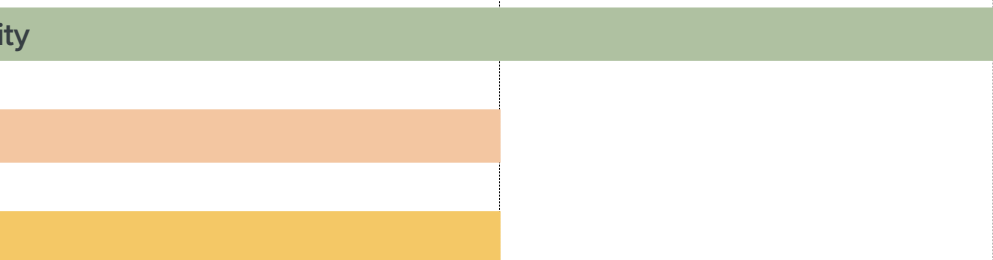
This would be predominantly buildings of flats and maisonettes with a mix of private and communal outdoor space and may include some town houses.

High rise  
more than 300 dph



This density mixes residential with commercial and other land uses. Large building footprints and taller buildings with some taller elements and a mix of private and communal outdoor space for residents.

This type of development may be suitable around key transport nodes.



## 2.1 Site layout



### Case study: City centre core

*Kampus, Manchester (482 dph)*

*A mix of new buildings and refurbished existing structures including Victorian brick canal-side warehouses and a 1964 concrete tower alongside a newly designed landscape garden.*

Liverpool's city centre, with its high level of transport accessibility, is set to experience increased density and building heights, but must ensure its heritage and historical character are preserved, respected and utilised.



### Case study: Waterfront Corridor

*Hale Wharf, London (221 dph)*

*A mix of flats and maisonettes, maximising the density whilst enhancing ecological habitats along the riverbanks.*

Liverpool's waterfront corridor contributes to the city's unique identity through its relationship with the River Mersey. It should feature a variety of building typologies, ranging from taller buildings in the central core to medium-density developments on the fringes.



### Case study: Inner neighbourhoods: higher density

*Sutherland Road, London (137 dph)*

*Flats, terraced housing, and a health centre - all designed as a cohesive whole and unified by continuous landscaping.*

Liverpool's Inner neighbourhoods: higher density should include a range of housing typologies that reinforce the urban character of the area - from compact terraced housing and medium-density mansion blocks to taller elements at key corners.



### Case study: Inner Neighbourhoods

*Vaudeville Court, London (100 dph)*

*Flats, maisonettes and houses at inner-city densities, maximising internal space while also providing generous outdoor areas for all residents.*

Liverpool's inner neighbourhoods will experience a gentle increase in density through the introduction of terraced housing and medium-density apartment buildings, designed to be sympathetic to the conservation areas and heritage assets.



### Case study: Suburban

*Abode at Great Kneighton, Cambridge (48 dph)*

*A range of housing typologies that support the transition from inner-city neighbourhoods to suburban areas: terraces, semi-detached and detached houses, mews, and low-rise apartment buildings positioned at key corners.*

Liverpool's suburban areas should feature housing typologies that respect the surrounding building scale and enhance existing open spaces, while allowing for a gentle increase in density.



### Case study: Suburban (lower-density)

*Polnoon, Eaglesham, Scotland (21 dph)*

*Houses in a sensitive extension to a historic village, placing carefully designed 21st-century homes alongside within an 18th-century setting.*

Liverpool's suburban lower-density areas should feature detached and semi-detached houses, short rows of terraces, and mews streets, reinforcing existing character whilst providing a thoughtful transition from historic to contemporary architecture.

## 2.1 Site layout

22. Every development **must** make the best use of land to deliver high quality housing to optimise the capacity of a site, rather than simply maximising density. The appropriate density depends mainly on the location or character area, and **should** be in line with the matrix below.
23. The building form will impact the character of the streets and public spaces. Unbroken building lines will create a dark, cavernous feel and result in a lack of character, particularly at medium to high-rise. In major developments, there **should** be breaks and variation in building form to ensure streets and public routes are bright, attractive, safe and welcoming.
24. The placement of new buildings and the design of floor layouts **should** ensure that new developments safeguard the amenity standards of occupiers, achieve a reasonable degree of privacy, and avoid negative visual impacts.
25. The back-to-back distances between new homes will vary by site and location. Generally, new houses **should** have a minimum of 23m between habitable rooms to the rear (across gardens). In appropriate locations, developments of up to six storeys **should** have a minimum separation distance of 18m, increasing to at least 21m minimum for buildings over six storeys. Higher density developments will be assessed on a case-by-case basis as site layout, height, form, massing, orientation, internal arrangement and façade design will all affect the impact of the building(s). A greater separation distance may be required to demonstrate the proposed development; delivers high-quality homes with appropriate outlook, privacy and amenity levels; creates high-quality outdoor environments that are comfortable and inviting for people to use; considers the impact of buildings on adjacent sites; and/or delivers contextually appropriate townscape solutions within a character area.

*For infill developments, conversions and on constrained sites, the Council may take a flexible approach where it can be demonstrated that a positive design-led solution is contextually appropriate and prioritises optimal density. In these instances, design proposals will need to ensure privacy and amenity levels are safeguarded and the public realm is not unduly impacted.*

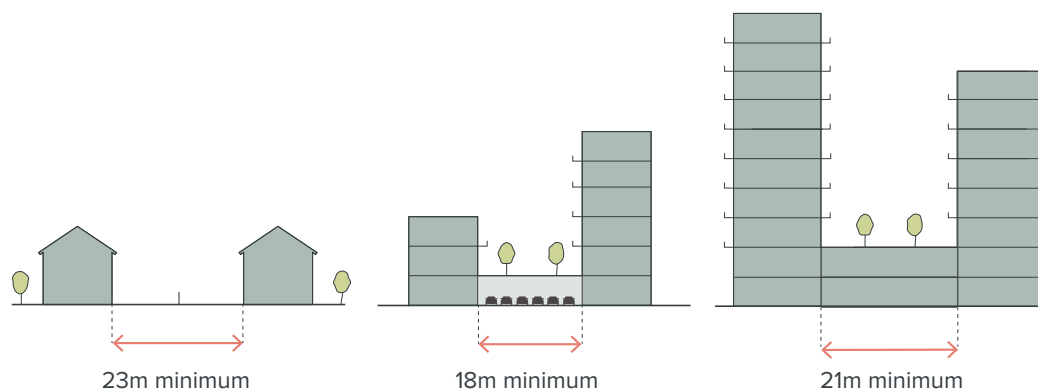


Diagram illustrates indicative approach for two storey houses, medium-density flattened developments and high-rise buildings

26. Where buildings are close together, developers **must** demonstrate proposals safeguard daylight/sunlight to lower levels, and ensure there is no loss of privacy or access to views. This is to ensure the buildings are pleasant to live in and do not feel overbearing from the public realm or communal areas.



Clear and consistent building line is accented with inset entrances and additional amenity space to improve internal environments and create a positive street setting.

27. When setting footprints, developments **should** follow historic / established building lines. Where these don't exist, homes **should** be set back a minimum of 2m from the street edge to allow for defensible space and planting or a wall/fence (see 4.8, 4.10). Where there are cantilevered balconies overhead, this set-back will ensure they do not oversail the public realm or site boundary.
28. Applicants **should** engage early with utility providers to incorporate existing and future infrastructure constraints. Integrating these later can compromise the deliverability of development and increase costs.
29. Developments **should not** adversely affect the operation or maintenance of existing utility services to surrounding sites.
30. The design **must** assess and respond to the hydrological characteristics to ensure a flood resilient development. This is particularly important where any part of the scheme is below ground level.

## 2.2 Streets and public routes

1. Well-designed streets and publicly accessible routes bring benefits for new residents and the wider community. They **must** be navigable, accessible and child-friendly to be comfortably used by all.
2. The street layout **should** come from a detailed analysis of the site and surroundings.
3. New streets and public routes **should** connect to the existing street network, seek to repair the urban fabric, and improve permeability. Cul-de-sac layouts and gated forms of developments that fail to connect to nearby streets **should** be avoided.  
*For conversions and infill schemes, every effort **should** be made to promote or improve existing connections.*
4. Where relevant, historic street networks **should** be researched reinstated where they reconnect disparate sites or communities.
5. Streets **must** be designed to prioritise pedestrians, cycling and vehicles in that order so proposals promote sustainable modes of transport.
6. For major developments with new street networks, proposals **should** demonstrate a clear hierarchy and establish a variety of street typologies.
7. Streets **should** prioritise and maximise connections with green space and waterways, building on, and creating a network of 'green' and 'blue' links.
8. To facilitate the independent movement of children and young people, proposed street networks **should** include car-free routes and play streets with well-located, safe crossing points and integrated playable landscapes.
9. The boundary between public streets, communal areas and private front gardens **should** be clear and consistent. Proposals **should** consider material changes, gateways, enclosures, public art and landscape to vary character in different areas.
10. Streets **should** maximise opportunities for social interactions, using access points, street furniture, planting, pocket amenity spaces and squares with designs to support all users.
11. Streets and public routes **should** be well overlooked through building orientation, placement of windows, doors and balconies, to improve safety.
12. New developments **should** provide active frontage along streets and public spaces to create sense of place and facilitate natural surveillance. Inactive uses onto public areas **should** be avoided and not exceed 10m in length. They **should** be offset through high-quality design and landscaping to ensure the frontage contributes positively to the street scene.

*For conversions, proposals **should** explore ways to activate blank façades and consider careful placement of uses to maximise overlooking of public and shared areas.*

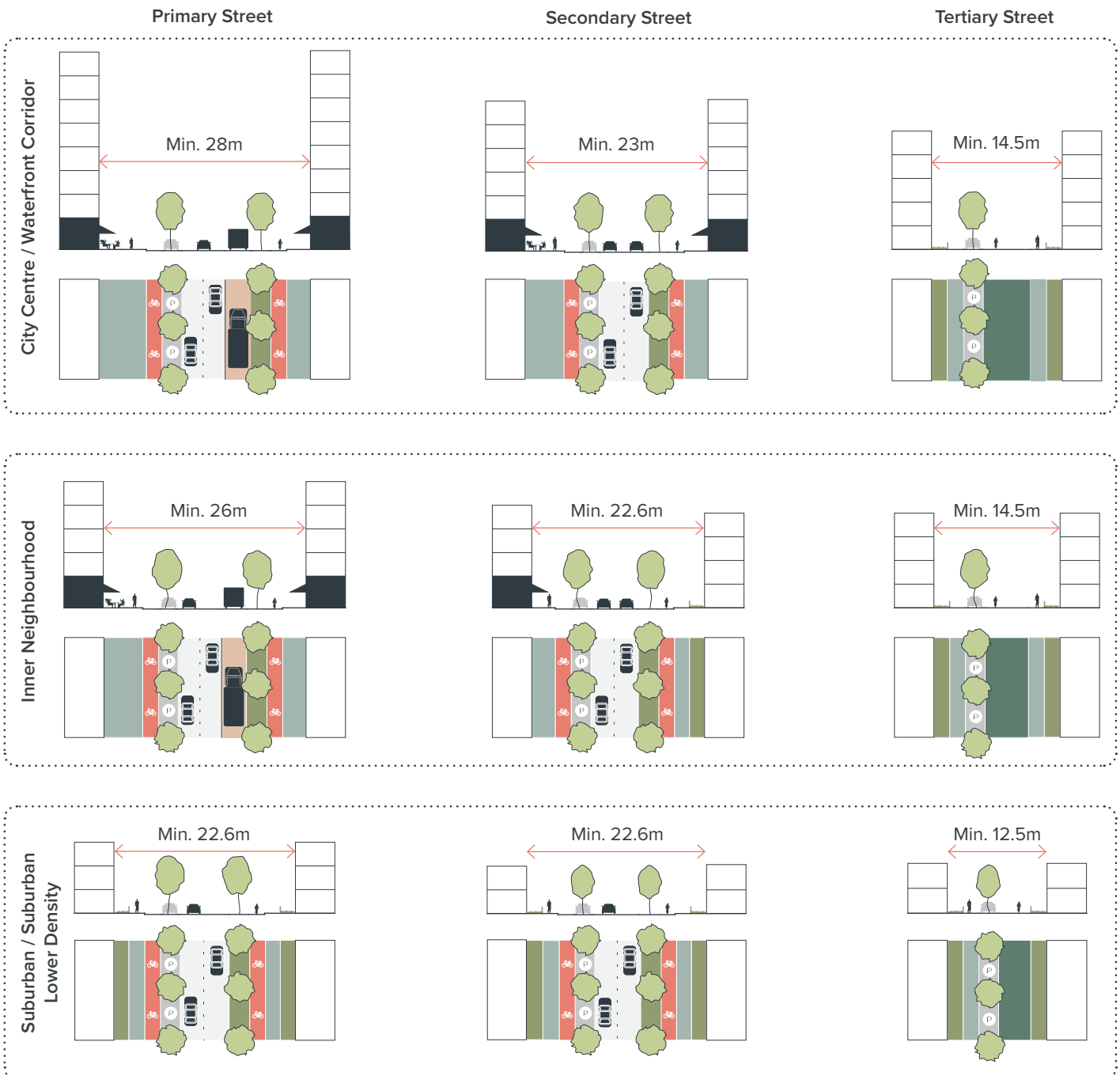


Diagram of new street widths and layouts

Key

- Footway - minimum width 2m
- Cycleway - minimum width 2m
- P Tree planting and parking (where required) - minimum width 2.4m
- Planter buffer / defensible space - minimum width 2m
- Single way including refuse truck (or refuse truck bay) - minimum width 4.2m
- Two-way road - minimum width 6m (minimum width 6.2m if bus route)
- Shared surface (pedestrian and cycle priority) - minimum width 4.1m

## 2.2 Streets and public routes

13. The design of all streets **must** consider servicing, emergency access, refuse collections and future changes to car ownership.
14. To ensure accessibility, the proposal **should** provide drop-off points and loading bays with dropped kerbs close to communal entrances to enable inclusive access for residents and visitors.
15. On mixed use schemes, the servicing of non-residential uses **must** be considered. Commercial deliveries are often at anti-social hours and **should not** disturb residents.
16. The increase in home deliveries has changed the way roads are used and there is a greater demand for short stay parking bays. The street network **must** consider ensure deliveries are practical.
17. All street types **should** aim to minimise carriageway widths to encourage cautious behaviour from motorists.
18. All public routes within a housing development **must** be built to the local authority's adoptable standards, unless the space will be privately maintained.
19. All new streets **must** be designed to accommodate proposed street trees and soft landscape. Where feasible, consideration should be given to incorporation of street trees in existing streets.
20. Existing trees offer a range of benefits and **should** be incorporated into new street design with consideration to future growth and management.
21. Well implemented Sustainable Drainage Systems (SuDS) can have a positive impact on amenity, biodiversity and well-being within the public realm (see 2.8). It **should** be considered early on in the design.
22. Proposals **must** consider people with visual impairment when designing streets and public routes. This includes surface materials, colour contrast and texture, kerb detection and tactile features, minimisation of clutter, planting and wayfinding.

“ People play on my street at the weekend. The trees and plants are one of the reasons we are all close. ”





## 2.3 Building form

1. The building massing affects every part of the home, from street appearance to the experience inside. Housing **must** be contextual and appropriate for the site and create a human scale for everyone who lives in or visits the development.
2. Applicants **must** clearly explain the rationale behind the approach to height and how this responds to the existing context.
3. Where relevant, the height and massing **must** align with design parameters in LCC policy and guidance documents. Upper limit height parameters may not always be appropriate as buildings **should** vary in height.
4. Any height that is not consistent with the existing context **must** be clearly justified and evidenced, demonstrating its impact on the skyline and local surroundings, including overshadowing.
5. Building height **must** not negatively impact air flow and natural light at street level such that it would create an unpleasant public realm.
6. The building form and footprint **must** be appropriate to the context and for the type of housing. Buildings and floor layouts that are too deep cannot be well planned as homes as they are unlikely to provide adequate daylight.
7. On narrow infill plots, innovative approaches such as contemporary mews houses with a narrow, linear footprint, terraced homes, or compact maisonette buildings **should** be considered.

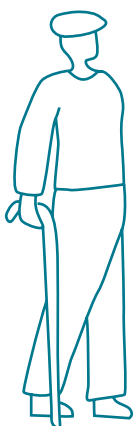


Shallow plots with innovate housing layouts enable a higher-density on this small infill site

8. In larger developments, a variety of roof forms **should** be adopted to aid legibility of character areas and street hierarchy.
9. Where proposed, set backs on upper levels **should** be designed as an integral part of the building and **should not** simply be used as a method of achieving additional height. Designs which look as though they have been extended from the outset will be resisted (see 2.3).
10. Applicants **should** consider corner buildings to ensure that they positively contribute to street legibility making the most of their unique position.



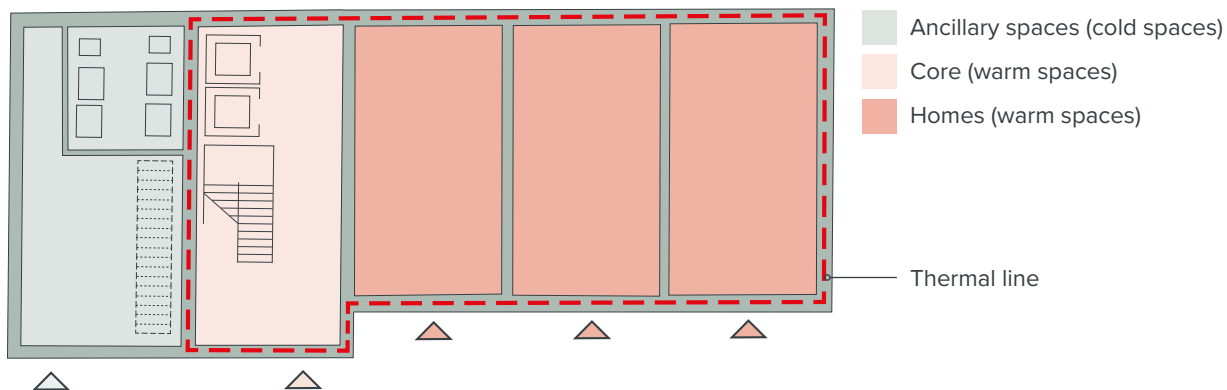
Corner building with unique character that aids wayfinding and addresses both streets



“ I would like developers to assess the surrounding area and make their new buildings fit in. ”

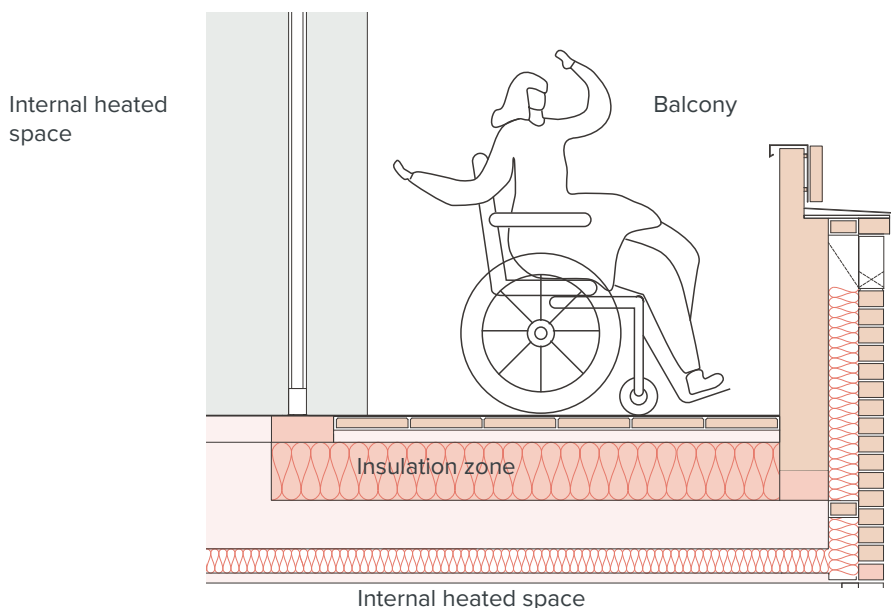


11. Simple building forms bring an improved form factor which is beneficial for heat loss. However these homes **should not** be lacking in character or detailing.
12. Proposals **must** allow sufficient space to accommodate appropriate build-ups of insulated walls, roofs and floors and calculate U-values **should** pre-planning to ensure designs are buildable.



Grouping warm spaces together minimises the thermal line which reduces heat loss

13. Heated spaces within the building **must** be sufficiently insulated. There will be thicker build-ups between insulated and uninsulated spaces which can have an impact on the total height of the building. It **should not** be necessary to drop the ceiling in a home to provide a sufficient depth of insulation while achieving step-free access to external spaces for the home above.

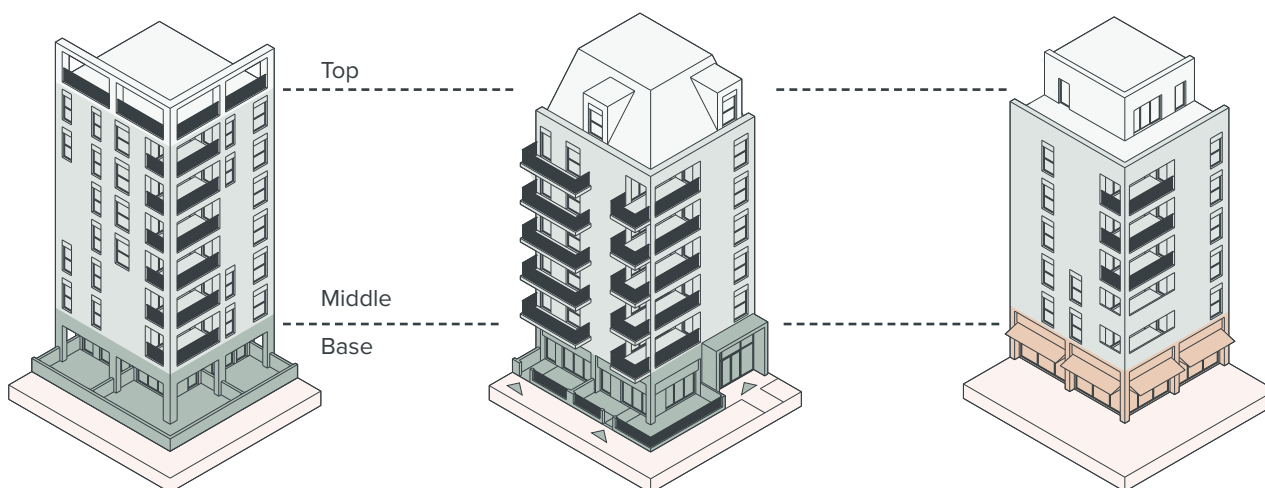


Consider floor build ups to achieve step-free access to terraces over heated space

## 2.4 Façade design and glazing

1. The appearance of housing is important. Attractive homes instil a sense of pride in residents which contributes to a positive and thriving community. Buildings **must** be designed as tenure blind externally to ensure all residents feel equal.
2. The appearance of new buildings **must** enhance and complement the surroundings and be respectful of site history and context, particularly in conservation areas. The approach could be to look for design cues in the surrounding context to inform the facade design and choice of materials. Applicants **must** clearly explain their rationale through a contextual assessment.

*For conversions, the priority is to use or reinstate original entrances and openings to maintain the character of the building. Extensions and external alterations **must** be well considered and appropriate to the host building.*
3. Housing **should** be attractive, and incorporate features that enhance a building's appearance and functionality. The facade **should** be designed using articulation and detailing, with consideration given to order, depth, materials and texture. For major developments with multiple large-scale buildings, consider distinctive characteristics that will ensure visual interest and to aid way-finding and legibility.
4. Façades **should** be designed with proportions that respond to the character of the area and the adjacent buildings and/or immediate context, and create a human-scaled street scene. Primary facing materials **should** reference common materials from the surrounding context.
5. For medium and tall buildings, the building form and elevation design **should** articulate the base, middle and top, providing a balance of proportions between each part. This **should** be noticeable in the form as well as façade design.



Tall buildings well proportioned with base, middle and top to respond to context

6. There **should** be particular consideration and investment in the materials and detailing at the base of the building which are most visible and interacted with. These materials **must** be robust and high quality to ensure longevity.
7. Buildings which can be seen from afar **should** pay particular attention to colour, material and visual interest. Medium and long-range views **should** be discussed with the LPA ahead of the planning submission.
8. On smaller / infill developments, a contemporary and innovative response to existing façades **should** be achieved through a complementary palette of building materials, avoiding low-quality pastiche replications.



Homes with particular attention to ground floor materials and details

9. Façade design **should** consider a suite of sustainability measures including triple glazing, which bring additional benefits, for example, in relation to mitigation against noise. The sustainability credentials including embodied carbon and recyclability **should** be considered when selecting materials.
10. Applicants **must** specify high quality, durable, low maintenance materials that are in-keeping with the area, age well and can be cleaned. Render **should not** ordinarily be proposed because it requires ongoing maintenance. High density developments, including tall buildings, **must** consider long-term management and replacement. Proprietary cladding materials may be appropriate and, where proposed, should be varied to provide subtle interest and variation in the elevation.
11. Weathering **should** be considered across all buildings to ensure changes will not negatively impact the appearance of the building over time. Although timber is a sustainable material, untreated timber cladding is likely to age quickly and unevenly, particularly in exposed areas and **should** be avoided.

## 2.4 Façade design and glazing

12. Developments **must** provide a maintenance plan which considers long-term management requirements such as the renewal of cladding.
13. Meter enclosures **must** be located within dedicated cupboards and visually discreet. They **should** be located away from street elevations where possible.



Houses using durable materials, with concealed meter cupboards and rainwater pipes

14. Rainwater pipes and exposed plant on street elevations **should** be minimised. Details and locations **must** be provided as part of the planning application.
15. Doors to ancillary spaces (e.g. refuse/cycle storage, plant rooms) **must** be made of robust materials to withstand constant use and be in a convenient and safe location for residents and service providers (i.e. refuse collectors) to access. Consider noise transfer to neighbouring homes.
16. Applicants **should** incorporate features into the building façades to encourage biodiversity including integrated nest boxes (commonly known as swift bricks). Nest boxes provide an important habitat for a range of bird species and there is a general target of one per home.
17. The plant room location and layout **must** be designed for practical use, however, the impact of inactive frontages and ventilation panels **should** be carefully considered on the street scene.

18. The design of windows affects daylight, views, external noise and overheating. They **must** respond to the context, room use, required privacy and the façade orientation. For optimum solar gain and mitigation of heat-loss, glazing proportions **should** be:
- 10 - 15% glazing on north facing elevations
  - 10-20% glazing on east and west facing elevations
  - 20-30% glazing on south facing elevations

*For conversions and on complex sites, there may be less flexibility in window size and locations. In these circumstances, the configuration and layout of the homes **must** consider the elements of best practice design with this attention to detail demonstrated in the planning application.*

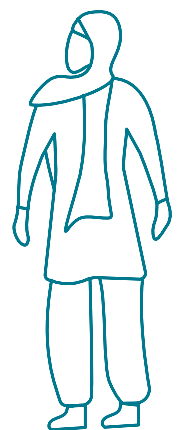


Window proportions and details relate to orientation, smaller windows face north and larger windows face south and west, incorporating shading

## 2.4 Façade design and glazing

19. Developments **should** maximise windows to habitable rooms overlooking streets, public spaces and waterways to facilitate a positive relationship and passive surveillance.
20. For mainstream housing, all ground floor homes **should** have a front door on to the street to maximise activity,
21. Blank gable ends with no windows fronting streets, footpath and public spaces **should** be avoided.
22. Living rooms, kitchens and bedrooms **should** avoid overlooking neighbouring properties and prioritise long views.
23. Full height windows can compromise privacy, furniture layouts, overheating and heat loss and so **should** be carefully considered, particularly in bedrooms.
24. Curtain walling including large glazed areas is not appropriate for any form of housing and **should** be avoided.
25. Rooflights **should** be considered as a good way to bring natural light into the centre of houses.
26. Rooflights are not suitable as an alternative to a window. Across all housing types, every habitable room, including kitchens **must** have a window with a maximum cill height of 1.2m and within the principle living area, this should be 0.8m to allow views out when seated.
27. Windows **should** be able to be cleaned by residents from the inside to reduce maintenance costs and reliance on management.
28. Applications for tall buildings and flatted developments **must** outline the intended approach to the window cleaning and façade maintenance strategy as part of the submission, to ensure window sizes and proportions allow for safe cleaning, maintenance and replacement.

“ Homes should be well constructed using first rate materials, easy to keep clean and attractive enough to make people take pride and want to stay for a long time. ”





## 2.5 Aspect, orientation, daylight and sunlight

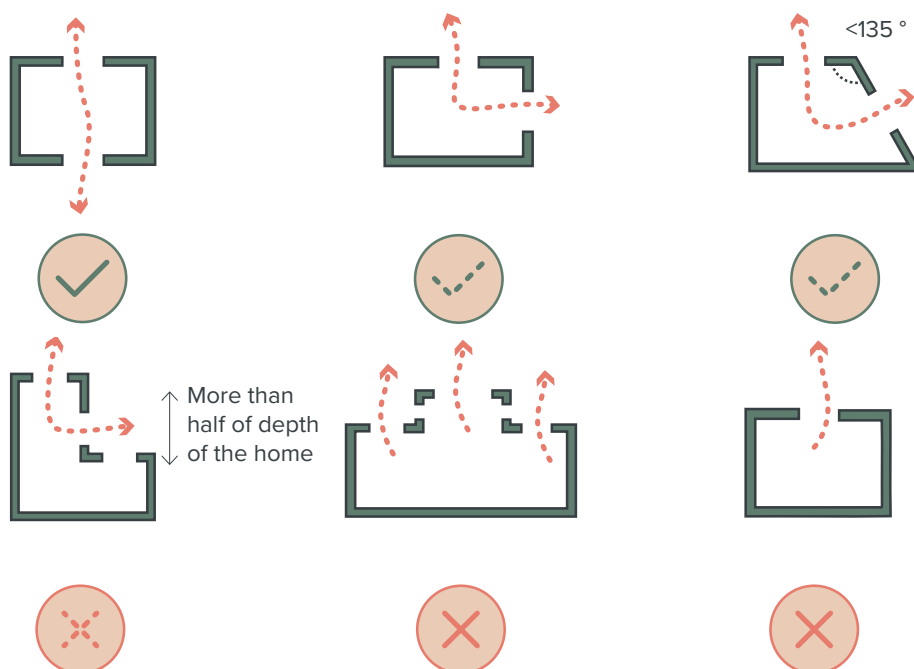
1. Effectively harnessing natural light and ventilation has wide-ranging benefits for residents from improved health and wellbeing to reduced energy bills. Considering aspect and orientation will help create comfortable environments, and more welcoming streets and public spaces. A design-led approach to maximise the natural light across all housing development **must** be demonstrated.

*For conversions or on complex sites where the building floorplates are fixed, centralised cores and ancillary spaces **should** be considered to maximise frontage for homes. It may be necessary to oversize homes to ensure adequate daylight. Increasing ceiling heights and window sizes where possible will also improve the internal environment where homes are deep in plan and adding features such as rooflights, angled bays and lightwells to draw light.*

2. Developments **must** maximise the number of dual aspect homes across a development because it brings a number of benefits to the living environment including:

- Improved views
- Better sunlight and daylight
- Natural cross ventilation which supports passive cooling
- Reduced disruption from noise and air pollution
- Greater flexibility in layout and use
- Other benefits including increased privacy and better social interaction (i.e. when there are windows on to an access deck)

Dual aspect homes have windows on two different sides, ideally opposite for optimum air flow. Bay windows, stepped or slightly angled façades do not constitute dual aspect.

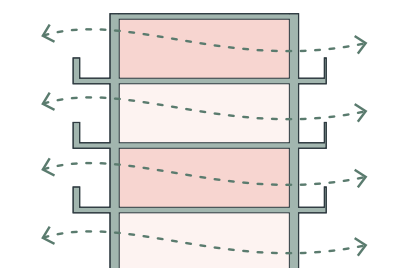


Diagrams demonstrating which arrangements count as dual aspect and which do not

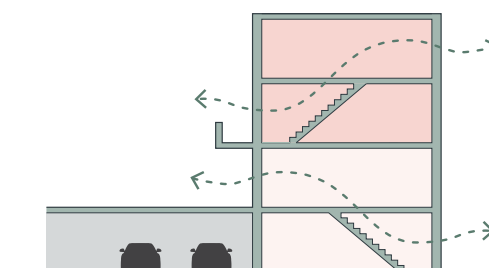
*In suburban areas, all inner neighbourhood areas, or in brownfield areas, dual aspect should be generally achievable through linear blocks, perimeter blocks, providing a mix of housing types (flats, maisonettes and townhouses). In higher density schemes innovative design solutions can help maximise dual aspect homes.*

*For conversions and on constrained sites, where single aspect homes cannot be avoided, they should be minimised and restricted to homes with one or two bed spaces.*

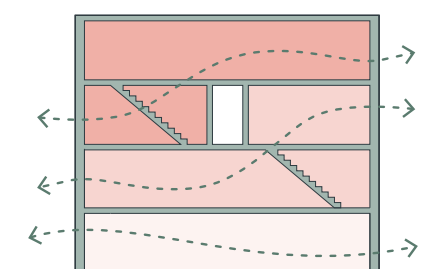
3. Any single aspect home **must** demonstrate it has adequate passive ventilation, daylight, sunlight and privacy; and does not overheat. As a general rule, single aspect homes within 45° of north should be avoided as they will not achieve adequate sunlight
4. All homes **should** receive direct sunlight to at least one habitable room. Sunlight to living areas **should** be prioritised.
5. In housing with shared facilities; co-living, PBSA, HMOs and care homes, private rooms are typically smaller as residents spend much of their waking hours using the shared facilities. These shared living areas **should** benefit from the best daylight, sunlight and aspect, although opportunities within the private rooms **should** be maximised.
6. In housing with shared facilities, primary living spaces within 45° of north **should** be avoided as they will receive little to no direct sun light. Where unavoidable, this needs to be discussed with the LPA ahead of the planning application.
7. On complex sites, designs **should** propose innovative ways to ensure dual aspect homes by considering access and integrating maisonettes.



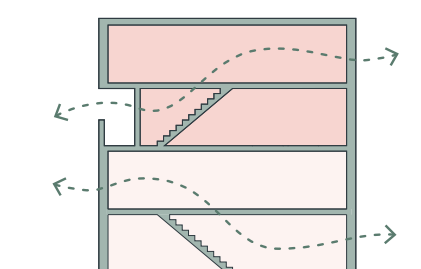
External deck access flats



Maisonettes with podium at first floor



Maisonettes accessed via central corridor



Stacked maisonettes accessed via external decks

Section diagrams showing design solutions which maximise dual aspect homes

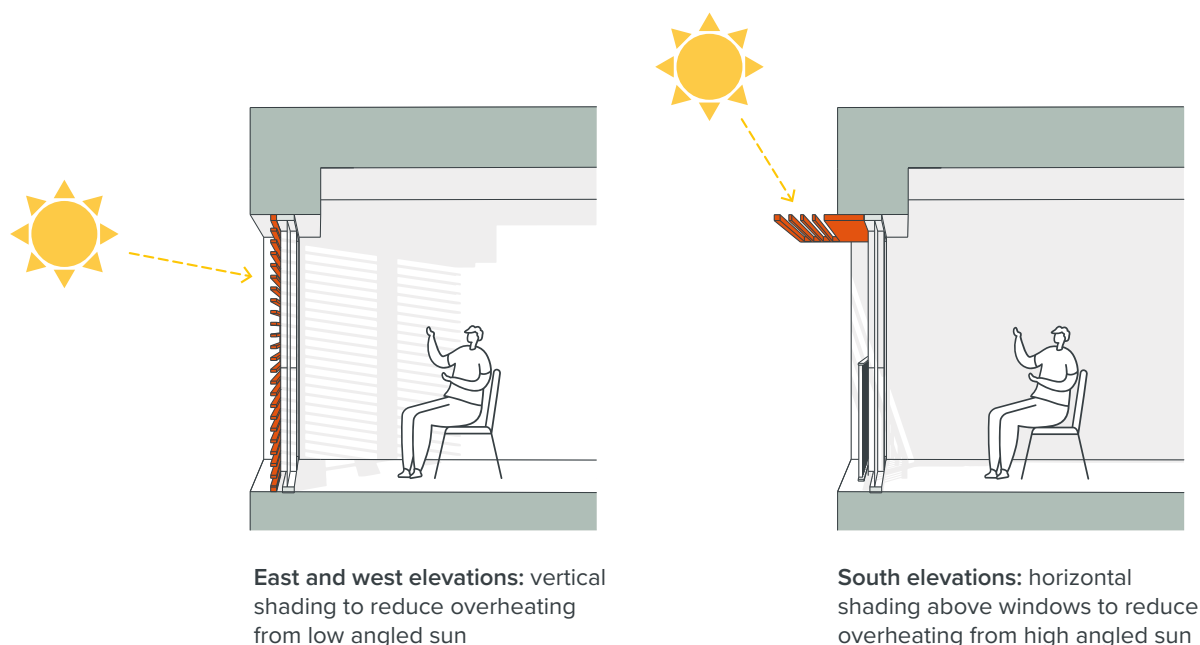
## 2.5 Aspect, orientation, daylight and sunlight

8. Alongside adequate daylight and sunlight, proposals **must** review overheating and integrate mitigation where required. An initial overheating assessment **should** be carried out pre-planning to ensure the proposed elevation can comply with overheating regulation. Early analysis enables design teams to accommodate necessary changes whilst there is still flexibility in layouts and façade design.
9. Passive shading and ventilation **should** take precedence over mechanical solutions. This **should** be considered early on in design development as building orientation, façade design (balcony and window layout), and layout of homes will all affect performance.
10. Where active cooling is proposed to mitigate overheating risk, passive measures **should** also be integrated to reduce the space cooling demand.



Balconies and fixed louvers on south facing windows provide shade for south facing windows

11. There **must** be an opening window to each habitable room to provide purge ventilation. The window arrangement, sizes and methods of opening and cleaning need to be considered. Generous window openings and/or opening vents **should** be used for purge ventilation and to maximise air flow and help reduce overheating.
12. Where appropriate, openable windows may be supported by ventilation panels for natural or hybrid cooling. Fixed louvres or decorated shutter could enhance security or mitigate safety, microclimate or amenity concerns. Where proposed, applications **should** demonstrate how these integrate into the facade and interiors to ensure they don't disrupt the use of the room, function well and look attractive.
13. Where openable vents / panels / shutters are proposed alongside windows, the design and construction detailing **must** be considered. Anything that is connected to a window **must** be integrated rather than independent systems to ensure they function well and look attractive.
14. External shading will help to mitigate overheating risk, particularly on south and west facing façades. Where proposed, it **should** be integrated into the design of the building. Balconies or fixed external shading can shade south facing windows. East and west-facing windows may require movable external shading to mitigate overheating



15. Roofscape design **should** prioritise south-facing pitched or flat roofs for solar panels / photovoltaics (PV). For flat roofs east/west concertina arrangements will maximise density and achieve higher energy production.
16. Where possible, roof access, plant and lift overruns **should** be located to the north edges, to minimise overshadowing to PVs on the roof.

## 2.6 Public open space

1. Open space is accessible to all provides valuable areas for communities to gather and socialise and is essential in the creation of a sustainable neighbourhood. New public open space **should** be well-defined in terms of extents and use, whilst integrating with the wider network of open space.
2. Open space **should** have a positive effect on the health and well-being of communities, serving as a 'green lung', especially in dense urban environments. To maximise the benefits, areas of public open space **must** be well located and integral to the design from an early stage.
3. All developments **should** maximise opportunities to improve connections for walking, cycling and wildlife benefit. When associated with strategic green/blue infrastructure these corridors offer high visual quality alongside having sustainable function.
4. Open space **must** feel safe if they are to be widely used. This means they need to be well overlooked with clear wayfinding and appropriate lighting.
5. Developers **should** involve the local community who will understand the challenges and opportunities for the area, and may be interested in engaging in stewardship or the creation of more 'community led' spaces.
6. Open spaces **must** be inclusive and usable by all, meaning accessibility requirements are considered through the design and specification.
7. Open space **must** be at ground level unless site constraints dictate otherwise.
8. Open space **must** be attractive and meet the needs of the community, integrating diverse play experiences for children and young people including those with additional physical and mental health needs (see 2.7). These provisions should be complemented by areas of shade, seating (see 2.12) sensitive boundary conditions and where appropriate, inclusive parking.
9. Materials and planting **must** be high quality and durable (see 2.8-2.9).
10. Open spaces **should** be 'pedestrian focused' meaning they are not interrupted or dominated by vehicular routes.
11. Where relevant, public open space **must** be specified to meet the Council's adoptable standards and arrangements for management and maintenance should be discussed with the Council.
12. Opportunities to reinforce public routes and spaces with SuDS **should** be sought to offer visual enrichment, biodiversity creation, aid way-finding and allow sustainable management of surface water run-off.

“ I'd like to see resident developed green spaces as has been done in some areas locally. ”





## 2.7 Play

1. Child-friendly design is an important consideration in sustainable housing and the needs of children and young people **must** be considered from the outset in all new developments, through the design of streets and open space.
2. Where the need is identified, developments **must** include suitable play, targeted at children of all ages and abilities.
3. Children and young peoples' access and movement within and around the site **should** inform the design of buildings, routes and open spaces.
4. Larger developments **should** consider safe movement into the existing play network and provision which complements and increases play diversity. Successful movement routes often target quieter vehicular streets and include informal 'play on the way' features.
5. Play space design **must** meet Play England's recommendations:
  - Be 'bespoke' - meaning being designed to serve its setting
  - Be well located
  - Make use of natural elements
  - Provide a wide range of play experiences
  - Be accessible and inclusive for children of all ages and abilities and their carers
  - Meet community needs
  - Allow children of different ages to play together
  - Build in opportunities to experience risk and challenge
  - Be sustainable and appropriately maintained
  - Allow for change and evolution
6. Where the need is identified, informal and incidental opportunities for play **should** be embedded within the design of streets and open spaces with an emphasis on integrating playable features within the landscape and planting design.
7. To ensure the spaces are equitable, areas for leisure activities, sports and socialising which are designed specifically to encourage use by girls **should** be included.
8. All children and young people **should** have access to play space within reasonable and safe walking distance of their home. This **should** be age appropriate and include activities for older children and teens.

“ I would like to see green areas where I can play in a garden. ”





“ We want common spaces for children to play safely with their neighbours. ”

9. Natural play features give children opportunities to interact with nature and improve biodiversity. Features such as felled trees, log piles and bug hotels benefit all residents and **should** be included, particularly in inner-city and built-up areas.
10. Any play equipment **must** be durable and suitable for the intended age or user group with an emphasis on a natural material palette.
11. Play areas **must** be in accessible locations and overlooked by surrounding homes. This is so children can play whilst they're seen by their parents and ensures they feel welcoming as they are less likely to be taken over by any one group.
12. Play areas **should** be well lit to allow use throughout the year.
13. A management and maintenance strategy **should** be developed at an early stage.
14. If boundary conditions are required to enclose playspace either partly or wholly, consideration **should** be given to planted solutions avoiding austere and municipal railings which can be costly. Gate styles must ensure accessibility for all.



Natural play-on-the-way

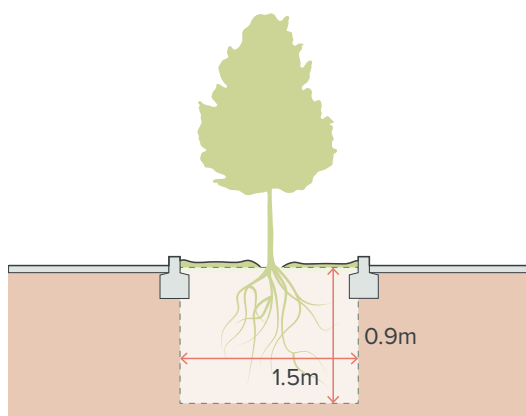
## 2.8 Planting and soft landscape

1. Trees and planting benefit public realm spaces by enhancing the setting and appearance of new homes and improving well-being, microclimate, wildlife and biodiversity. Existing assets **should** be surveyed by a suitable professional and existing trees and habitats of value **should** be retained and integrated into the site layout. There is a strong presumption against removal in all instances.
2. If losing existing trees is unavoidable, mitigation planting within the development **should** be calculated using sound arboricultural principles to demonstrate replacement using a recognised system e.g. Urban Greening Factor (UGF). Mitigation can include off-site provision where it can be demonstrated that tree planting within the development has reached capacity.
3. New trees **must** be included in the design of new streets and across the public realm, with priority given to settings in planting and soft landscapes
4. Planting design **should** form, character, drought tolerance, wildlife benefit, and climate resilience. The design and layout should maximise species diversity balancing native species with those with wildlife benefit and tolerance of a changing UK climate. The planting strategy **must** consider aspect, shading and sunlight levels.
5. Where 20 or more new trees are proposed, there **should** be variety. As a rule-of-thumb, there should be no more than 10% of any one species, no more than 20% of any one genus and no more than 30% of any one family.



New trees integrated into the street design

6. Tree planting **must** consider adequate space allowance above and below ground, considering aspects such as final canopy size and root requirements.
7. Consideration **must** be given to isolating tree pits from underground utility infrastructure. Ribbed root barriers are a common consideration.
8. Trees in the public realm should be no smaller than 18cm girth and have a mature clear canopy height of no less than 2m.
9. Trees in 'intensive' tree pits underground 'crates' **should** be limited to civic spaces where footfall requires it, a presumption towards adequately sized planted pits **should** otherwise predominate. Tree pits should be free-draining, a minimum of 1.5m x 1.5m wide, and a minimum of 0.9m deep. Soil volume should increase to reflect the species selection.



Tree pit dimensions to ensure adequate growth

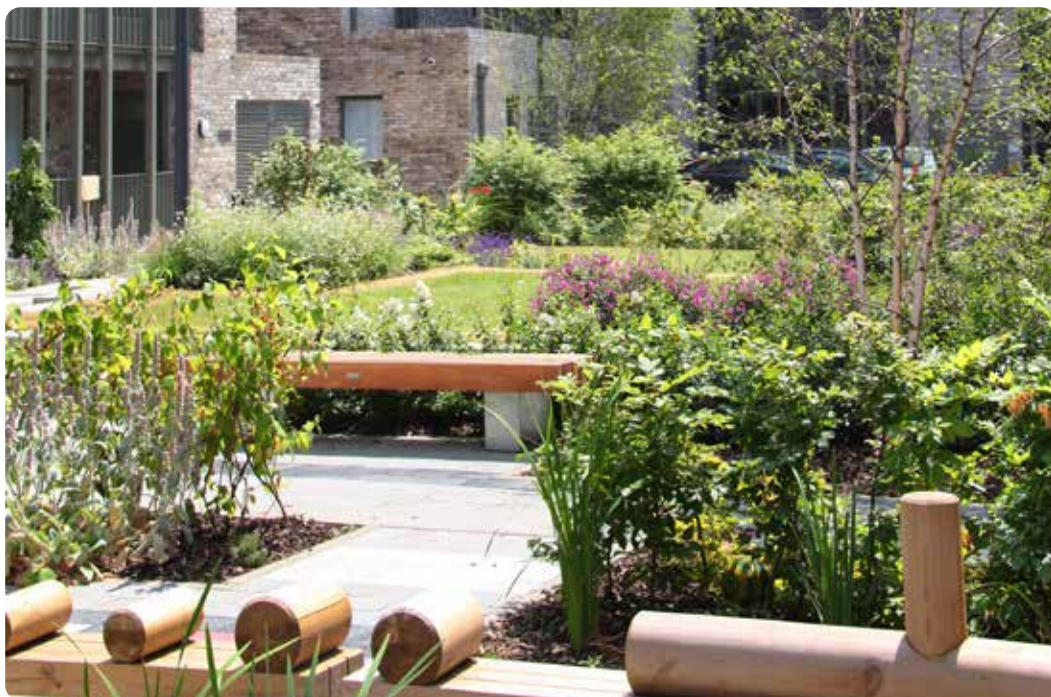
10. Street planting **should** preserve sight-lines and define areas such as parking and defensible spaces, so designs should focus on robust, low-growing shrub planting with herbaceous accents.
11. Berrying species **should** be avoided on sites where they may cause trip hazards on hard surfaces, or on sites proximate to Liverpool Airport, Alder Hey and Aintree hospitals to discourage flocks of birds.
12. Planting in public areas should be discussed with LPA and may need to be designed to meet minimum adoptable standards.
13. The proposed maintenance strategy must be defined and maintenance plans and budgets should make allowance for watering to ensure establishment within the first 3-5yrs.

“ I would put trees if I could because I have no trees near my house. ”



## 2.8 Planting and soft landscape

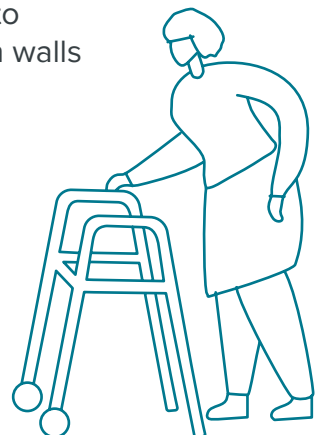
14. Selective mowing regimes **should** be considered to produce grass meadow areas. Diversity **should** be introduced through bulb or wildflower planting extending the wildlife value.
15. SuDS, such as swales and rain gardens, **must** be incorporated within the design of all new streets and spaces to provide a holistic approach to water management and to improve biodiversity. Edge treatments **should** be carefully considered to protect against footfall and vehicular overrun. Proposals should follow the best practice design principles and guidance set out in the CIRIA SuDS Manual C753, 2015 (or subsequent update).



Communal garden with range of planting, seating and informal play areas

16. Biodiversity mitigation / enhancement **should not** be located directly over underground water/wastewater assets as any future excavation would damage/remove the habitats created.
17. Vertical greening can make positive contributions to placemaking and biodiversity. Suitable climbing plant species **should** be planted into adequately sized soil volumes. High maintenance intensive green walls **should** be avoided.

“ I miss the wildlife that we used to see. ”

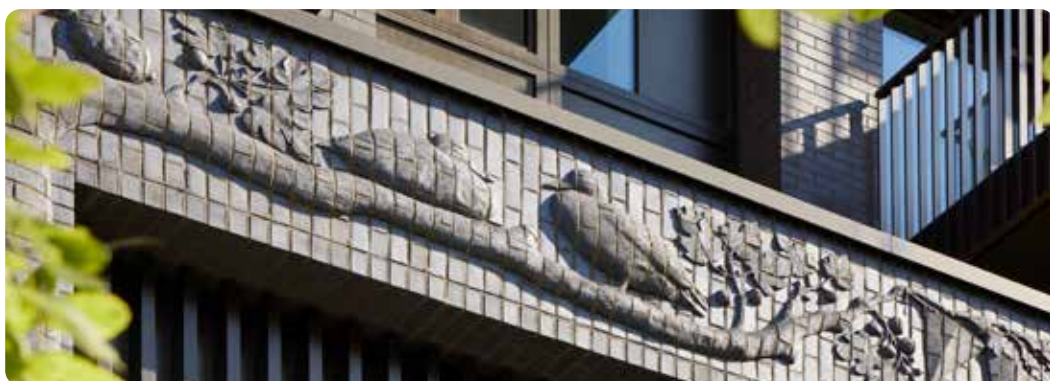


## 2.9 Hard landscape

1. Hard landscape design is an important and practical consideration. It **must** be high quality, robust, easy to replace and fit for purpose in aspects such as vehicular loading and pedestrian slip resistance.
2. An emphasis on ‘family’ palettes **should** be made with common/ complementary materials devised between paving, edges etc.
3. Paved areas **must** incorporate step-free routes, in equitable locations, promoting good levels of accessibility and legibility for all ages and abilities.
4. Areas of planting **should** be integrated into paved areas to breakdown large expanses of paving which can be austere and increase surface-water run-off. Paving within civic-type spaces **should** reflect footfall envisaged with well-considered placement of trees and planting.
5. Choice of materials **should** reflect the hierarchy of the streets and spaces and must be to Liverpool’s adoptable standards unless otherwise agreed.
6. The materials palette **should** reflect the local context and complement the materials of the proposed and existing architecture where present. This is particularly important in conservation areas, the setting of listed buildings and civic spaces.
7. Permeable surfaces **should** be considered to help with drainage/ surface water flooding where paving is not adopted. Consideration to maintenance of permeable surfaces **should** be made from an early point in design as well as the adoptability.
8. Hazard-warning paving types and colour/material contrasts **should** be employed to delineate changes in levels, safe walking routes or to highlight the edge of vehicular routes. Careful consideration is required in historic areas to ensure successful integration.
9. Upfront embodied carbon of hard landscape **should** be considered through at the outset of the design, through increased material reuse and recycling and review of Environmental Product Declarations (EPDs) where available.
10. Construction techniques for edges and pavings within the root protection areas of existing trees **must** be adapted to utilise a three-dimensional cellular confinement system to avoid damage to the rooting area in line with BS5837.

## 2.10 Signage and wayfinding

1. Wayfinding **must** be considered at an early stage as part of the street hierarchy and site wide principles. Natural and existing features aid wayfinding and **should** be maintained where suitable. Subtle architectural details can also be used as passive wayfinding techniques and are particularly useful where there are large new areas of development.
2. New building and street names **should** avoid generic names and instead be place-specific, drawing on history where possible.
3. Wayfinding **must** be inclusive and help legibility and accessibility to public spaces. It is especially important for people who are colour blind or with visual impairment where tactile data or Braille **should** be considered.
4. Wayfinding **should** clearly identify means of access to public open spaces and Public Rights of Way.
5. Wayfinding and signage **should** be easy to maintain, repair and replace and **should** be of consistent material palette.
6. Signage **should** be consolidated to avoid over-cluttering the public realm and historic environments.
7. Signage, names and numbering is important for visitors and deliveries and they **must** be clearly visible and well-lit. For major developments, a wayfinding strategy **should** be developed at planning stage.
8. Where relevant, public art, street furniture and landscape landmarks **should** contribute to the wayfinding strategy.



Integrated signage and artwork gives identity to buildings and helps with wayfinding

## 2.11 External lighting

1. Proposed lighting **should** create a welcoming and human-scale environment which encourages residents to use outdoor spaces.
2. Lighting **should** contribute positively to feelings of safety and security for everyone, with particular consideration to visually impaired people. Using well placed low-glare, warm white tones with good levels of consistency should be proposed, in line with SbD principles.
3. Lighting **should** enhance the architecture and open spaces and reinforce the different character areas across Liverpool.
4. Primary footpaths and amenity spaces **should** be adequately lit and routes and spaces of lower status **should** consider motion-activated lighting.
5. Luminaries **should** be specified for low energy consumption and their position **should** enable easy maintenance.
6. When within the public realm, lighting **should** be designed with the local authority's adoption requirements in mind.
7. Street lighting **should** be integrated on to buildings to avoid clutter.
8. Lighting design **should** consider vertical surfaces including walls, entrances and building façades.
9. Lighting **should** be directed away from residential windows. Care **must** be taken to develop strategies that minimise the amount of light pollution and glare caused.
10. Lighting **should** be designed to minimise light pollution, particularly near wildlife habitats, dark landscapes and nature conservation.
11. Lighting to river frontages **must** not have a negative effect on river ecology or safe navigation of the River Mersey, Liverpool's dock water spaces and the Leeds & Liverpool canal.



Creative lighting in public areas can create character and flexibility in the use of public spaces

## 2.12 Street furniture

1. Street furniture can make public areas more attractive and usable, encouraging a sense of identity and community. Where proposed, it **must** be integrated into landscape design, avoid cluttering the space, maintain clear routes and facilitate shared-use by all, including people using mobility aids.
2. Regular seating opportunities **should** be provided to provide rest points.
3. To be usable by all, seating **should** include varying seating heights, incorporate arms and backrests, provide space for wheelchair users.
4. Seating **should** be overlooked by surrounding homes and sited in positions that are well lit, shady in the summer and are not excessively windy.
5. Street furniture **should** be combined with lighting columns to reduce clutter.
6. Street furniture **should** be from a constrained palette with a 'family' of products with simple, robust design of high quality that will endure.
7. The maintenance and replacement of street furniture **should** be considered. Bespoke items **should** only be used where they are made of materials that can endure with zero maintenance over their lifetime.
8. The finish and colour of metalwork across the palette **should** be consistent and in keeping with local context.
9. Drinking water fountains **should** be considered in public areas where people might spend any length of time, like play areas.
10. Litter bin provision **should** be adequate in size and quantity with convenient locations to promote a litter free environment.
11. Options for recycling **must** be included where possible following discussions with Council departments.
12. Dog waste **should** be combined into general litter bins avoiding additional dog litter bins.
13. Vehicular access control **should** be passive where possible, for example using planting to reduce anti-social parking. Automated bollards are considered a last resort as they are unsightly, obstructive and a maintenance issue.
14. Waterside developments **should** include provision of riparian lifesaving equipment where necessary to facilitate safe and active use of the river front.







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# Chapter 3: Communal areas

A sense of community is critical to a thriving, healthy, and active city. This cannot happen in a vacuum because our communities are influenced by the places and spaces we inhabit. In Liverpool, a city with such a strong identity and sense of community, well-designed communal spaces are the quiet glue that helps people flourish together. At the macro scale, creation of well-designed shared spaces within housing of all types, reinforces this cohesion and is vital to enhancing the daily experience of residents and visitors of all ages.

Communal internal and external spaces should do more than form routes from one part of a building or development to another. They need to link public and private spaces and feel like an extension of the home. Shared spaces create opportunities for neighbours of all ages to meet and socialise. They should feel safe and provide space for play and recreation to foster friendships. They must be equitable, accessible - usable by all, and designed with quality, durability and flexibility in mind.

This guide champions well-designed housing that supports neighbourliness within and across neighbourhoods, to create safer, happier and more resilient communities where no one is left behind.



3. Communal areas

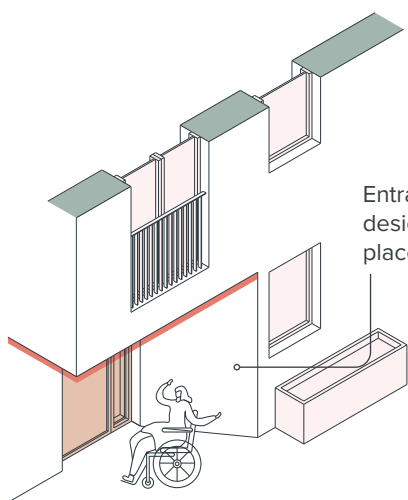
# 3.1 Entrances

Guidance for all homes:

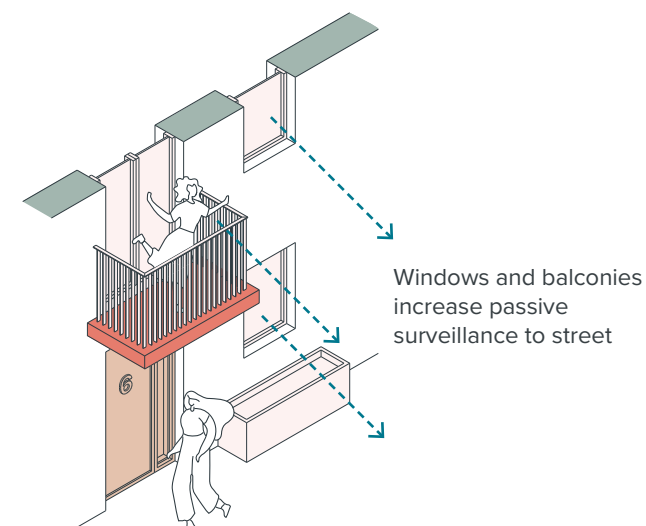


1. Communal entrances act as a front door for many homes. They **should** be generous, inviting, thoughtfully designed, clearly identified and accessible to all.
2. There **must** be step-free access from the public realm in line with the inclusive design standards required for the type of housing proposed.

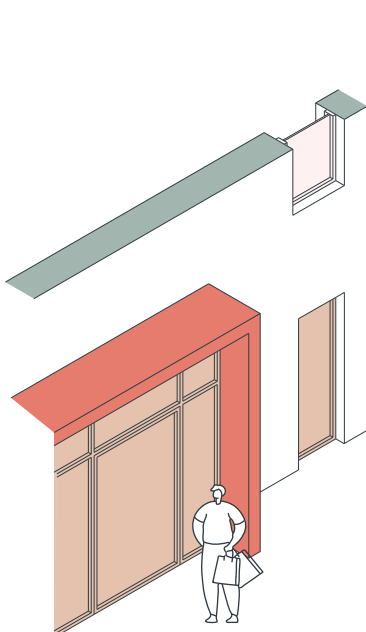
*For conversions, and on constrained sites, any constraint affecting accessibility **should** be raised with the LPA ahead of the planning application.*



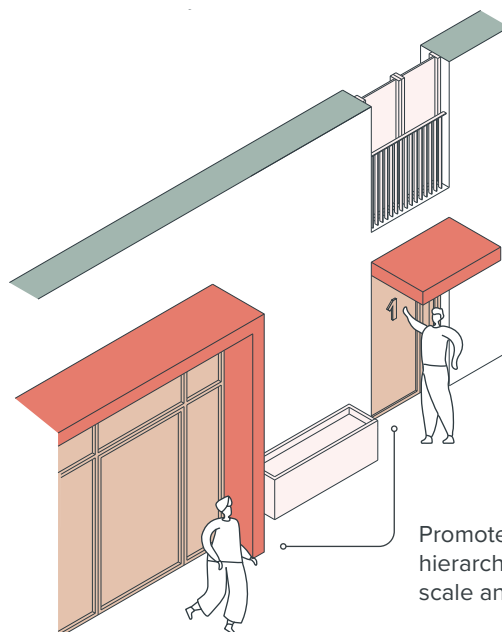
Private entrance recessed



Private entrance with balcony canopy



Prominent communal entrance and ancillary door



Communal entrance alongside private entrance

3. All entrances **must** have a significant street presence and be easily identifiable, including at night. Primary access via a rear passageway is not acceptable.  
*For conversions and on constrained sites where the entrance sequence is fixed, extra effort will be required to ensure it is acceptable. It **must** be developed early on and reviewed as part of discussions with the LPA ahead of the planning application.*
4. There **should** be a hierarchy of entrances in terms of size and location. Entrances serving more homes **should** feel generous and more prominent than individual front doors.
5. In terms of location or quality, there **must** be no perceptible difference between tenures or housing types within a development.
6. Context and scale **must** be considered in material specification of the entrance areas. These are highly trafficked areas so high quality materials are required.
7. All interior and exterior signage **should** be inclusive, high quality and durable.
8. Lighting **should** be well designed to ensure the area is always safe and visible. However, the design and specification **should** ensure no light pollution to neighbouring homes. A specialist will bring great benefits to the team, so **should** be employed particularly on larger schemes.
9. The external entrance area, canopy or porch style **must** be in keeping with the architectural design and enhance the character of the building. They **must** ensure good sight lines and not create places for someone to hide which is a safety and security issue.
10. Rainwater **should not** discharge over an entrance and adequate drainage **should** be provided to stop any water ingress into building entrance zones.
11. Residents' route to their home, their experience and comfort **should** be considered in the design of entrances. For example, if the building has external deck walkways, the entrance space may have an external feel and be unheated. Where there are internal corridors, the entrance space **should** be heated.
12. Where a concierge is proposed, the building's security **should not** depend on this function, as the management may change throughout the life of the building.
13. Lobbied entrances are more thermally efficient and secure than a single door and **should** be considered wherever possible.
14. The landscape setting to entrances **should** be considered with planting included where possible. Paved frontages **should** be adequate without being excessively generous.

## 3.1 Entrances

Additional guidance for later living:



15. In extra care schemes, the entrance **should** be close to an office or overlooked by staff facilities. Staff offices are less likely in independent living. In both cases, entrances **must** feel welcoming, residential in character and not institutional.
16. There **should** be space to comfortably sit in a warm environment. For extra care, this **must** be provided.



Well defined and covered entrance area for extra care housing overlooked by staffed areas



3. Communal areas

## 3.2 Deliveries and post

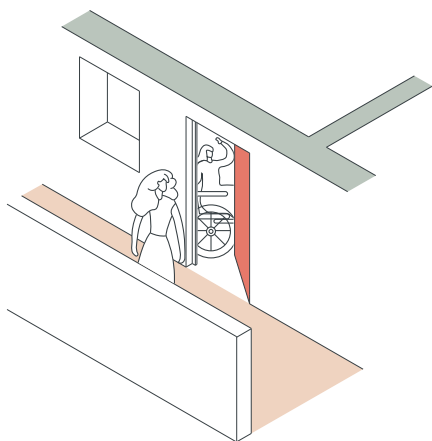
Guidance for all homes:



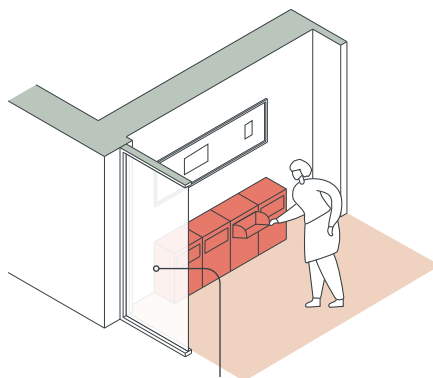
1. Development proposals **should** ensure post and deliveries can be safely and securely received, stored or collected by residents. Developments **should** demonstrate a post and delivery strategy as part of the planning application.
2. All post boxes and letter boxes **must** be at a convenient and accessible height for postal workers to use and residents to collect.
3. Where possible, delivery and postal workers **should** be able to gain access to individual homes via an entry system. This **should** be the case for small buildings with fewer than 20 homes.
4. In communal areas, grouped post boxes **should** be accessible, discretely located not visible from the public realm, to avoid opportunistic theft of parcels.
5. Individual parcel boxes **should** be considered where it is feasible, to ensure no unattended parcels are left in the entrance areas.
6. Where communal post boxes are required, they **should** hold at least A4 sized mail.
7. Where there is a concierge or other staffed entrance, there **should** be a suitable, secure area for storage and organising of post.



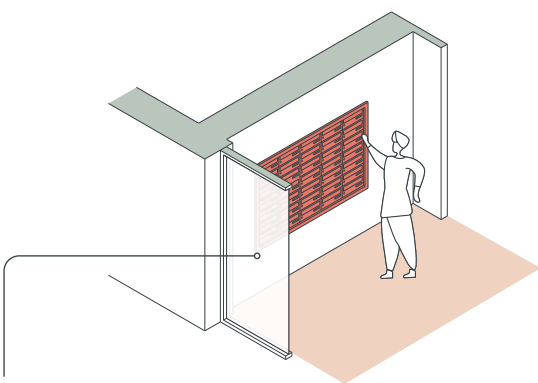
Personal deliveries to individual homes is beneficial for residents and reduces management issues



Individual delivery to buildings with up to 20 homes

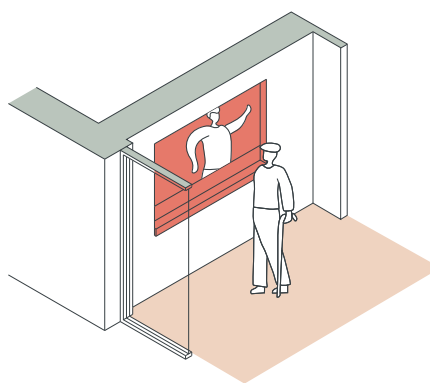


Lobbied entrance with parcel boxes for medium developments



Boxes obscured from street

Lobbied entrance with A4 boxes for larger developments



Entrance staffed by concierge although layout does not rely on this function

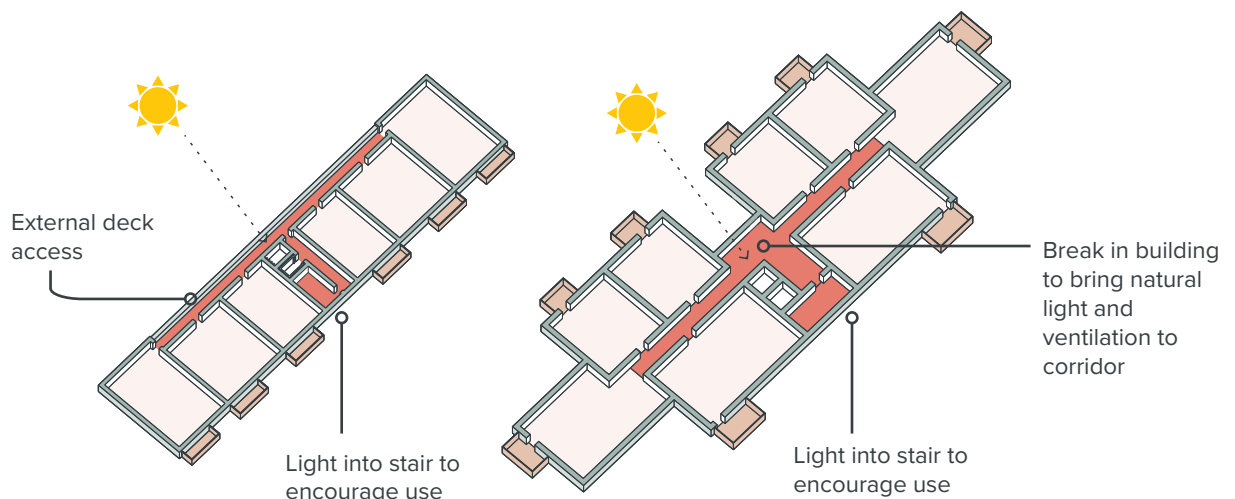
Post deliveries and storage for homes with communal entrances

## 3.3 Access to homes

### Guidance for all homes:



1. Access to all homes **must** be legible and achieve the inclusive design standards required for the type of housing proposed. This includes the route to the principal or shared entrance and to individual homes.
2. Where possible, cores **should** be centrally located within the building for convenient access to all homes.
3. Materials used in circulation spaces **should** be robust, durable and easily cleaned. They **should** be high quality and selected to enhance the daily experience of residents.
4. The access strategy **must** be made clear as part of the planning application. In calculating lift numbers, applicants will also need to meet requirements for fire-fighting and/or evacuation lifts.
5. Circulation space **should** be increased above minimum requirements outside lifts and in highly trafficked areas, such as a communal entrance, to create easy passing points and encourage neighbourly interaction.
6. External deck access brings many benefits for residents. It allows homes to be dual aspect and encourages social interaction. Where external deck access housing is proposed, the form and access strategy **should** be considered from the outset to ensure it works with the massing, orientation and location.
7. Where access decks are proposed, windows **should** provide overlooking and enable cross ventilation through the home. These **should** be secondary windows to habitable rooms or serve a non-habitable area.



External deck and internal corridor, both with centralised access core, with natural light and ventilation

8. There **should** be a privacy buffer to any habitable room window that faces on to a deck, designed to consider security, fire and management too.
9. Developments **should** avoid long narrow corridors. Internal corridors, particularly those that serve flats on both sides, **should** be kept short.
10. All internal corridors **should** have natural light and ventilation where possible This will improve the experience for residents and visitors and help manage overheating and build-up of odour.
11. Natural light and ventilation **should** be proposed where stairs or corridors have an external wall to make these spaces more attractive and encourage use of stairs.



Natural light into stair of a flatted building

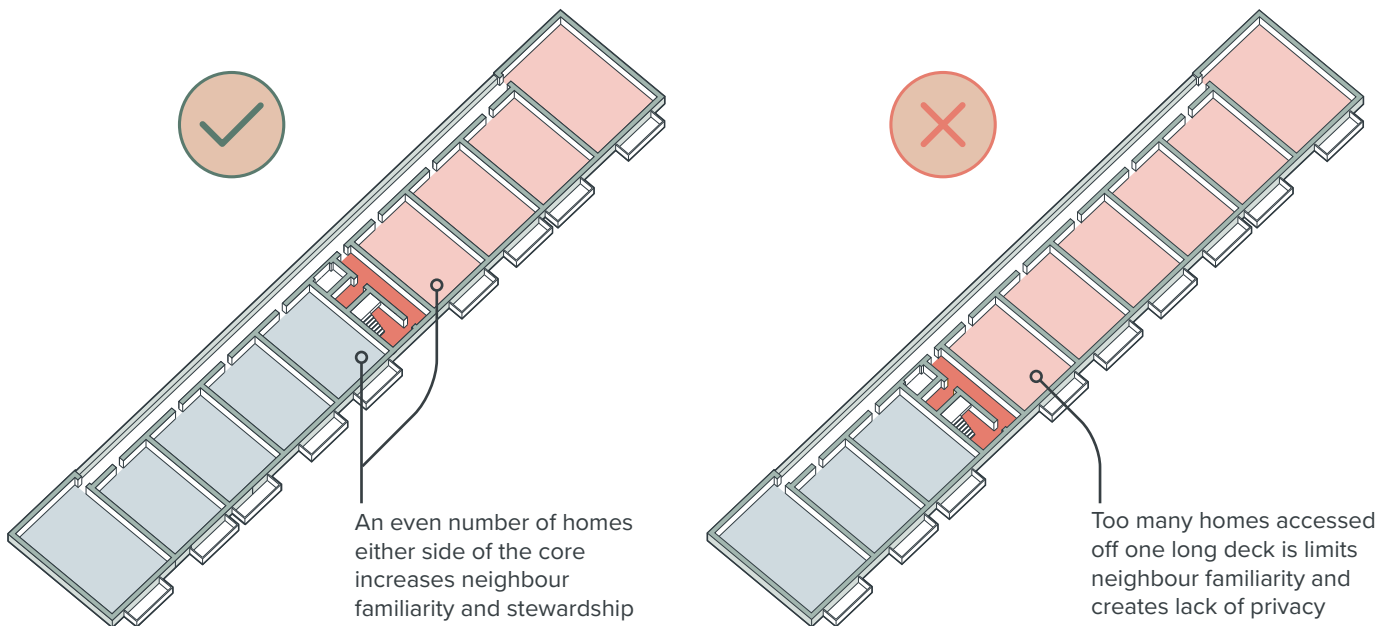
12. Any home for a wheelchair user above ground floor **should** be served by more than one lift to ensure continuity of access in case of lift failure or maintenance, particularly where the lift is to be used for evacuation.
13. All homes in flatted developments with three or more bedrooms **should** be served by more than one lift to ensure continuity of access in case of lift failure as negotiating stairs with young children and buggies is challenging.

## 3.3 Access to homes

### Additional guidance for mainstream housing:



14. LCC require all new homes to meet Approved Document M: Access to and use of buildings Vol 1: Category 2 Accessible and adaptable dwellings (AD-M4(2)) as a minimum. Therefore, homes **must** achieve step-free access.
- In conversions and on complex sites, there may be constraints to layouts which will affect access. These **must** be discussed with the LPA ahead of the planning application and every effort must be made to ensure homes comply with AD-M4(2) in as many aspects as possible.*
15. To encourage neighbourliness and a shared sense of ownership, the number of homes accessed per core per floor **should** be minimised. Where more than eight homes are served per floor, access could be split into clusters, taking different directions out of the core.



A centralised core creates smaller clusters of neighbours and reduces how many people walk past each home

### Additional guidance for later living:



16. All homes above ground floor **must** be served by at least one lift.
17. Proposals **should** incorporate dementia-friendly design principles to reduce confusion, improve safety and increase the well-being of all residents to enable people to live independently for longer.
18. Proposals **should** consider providing spaces to sit along access routes between homes, although these **must** be developed in careful collaboration with the fire engineer.



Deck access in extra care building with kitchen windows, planting and seating area

### Additional guidance for homes with shared facilities:



19. In shared living, homes **should** be accessed off a communal area. In general, corridors **should** be kept to a minimum.

## 3.4 Outdoor amenity space

Guidance for all homes:



1. All homes **must** have access to outdoor amenity space in line with the Local Plan. This can be provided as private spaces (i.e. private garden/balcony), communal areas (i.e. shared gardens for exclusive use by residents) or a combination of both (i.e. private balcony with access to shared garden).

*In exceptional cases, a lack of private outdoor amenity space for either new buildings or conversions may be acceptable where all options for provision have been explored. This will need robust justification, including evidence and studies and should be discussed with the LPA ahead of any planning application. For conversions with existing amenity, Local Plan standards will still apply and any proposed reduction below the current provision will be resisted.*



Private gardens opening onto communal outdoor amenity space

2. Communal outdoor amenity **must** be appropriate to the scale, function and character of the development.
3. All outdoor amenity spaces **must** feel safe, be accessible for all and available to all residents within a building or development, irrespective of tenure and accessibility requirements.

4. Communal outdoor amenity space **must** be attractive, usable, meaningful and engaging, designed as a relaxing and sociable garden space for the genuine benefit of all residents - not 'left over' space. It **should** be well proportioned, at least 2.5m wide and deep and large enough to comfortably accommodate a table and chairs.
5. Larger schemes **should** consider a variety of amenity spaces for different activities.
6. The communal outdoor amenity **should** be conveniently located and have access and clear-sight lines to and from surrounding homes to promote safety and maximise a pleasant outlook for residents.



Communal garden overlooked by surrounding homes

7. Spaces **should** be tested against BRE guidance at an early stage to ensure they are capable of providing appropriate levels of daylight and sunlight.

“ I think all apartments should have shared communal areas to foster a sense of community. Apartment living can be lonely. ”



## 3.4 Outdoor amenity space

8. The design and location of communal outdoor amenity space **should not** create unacceptable overlooking to new or surrounding homes.
9. The communal outdoor amenity space **should** be at ground floor where possible.



View through to ground floor level communal amenity

10. Roof terraces **should not** be the only shared amenity as they are often limited in terms of the range of spaces they can offer and are less comfortable environments with overlooking and accessibility compromises. Where proposed, they **should** provide areas of sun and shade and be well overlooked by surrounding homes. They **must** be accessible to all. LCC may require wind/microclimate testing to ensure they are comfortable to use.
11. Communal gardens **should** have a visual connection to the street. This helps create an open, welcoming feel and improves daylight to both spaces.
12. Outdoor communal amenity areas **should not** be surrounded by buildings on all sides, as they can feel noisy, gloomy and disorientating. This means courtyard buildings **should** have a break in the massing which will also improve daylight.

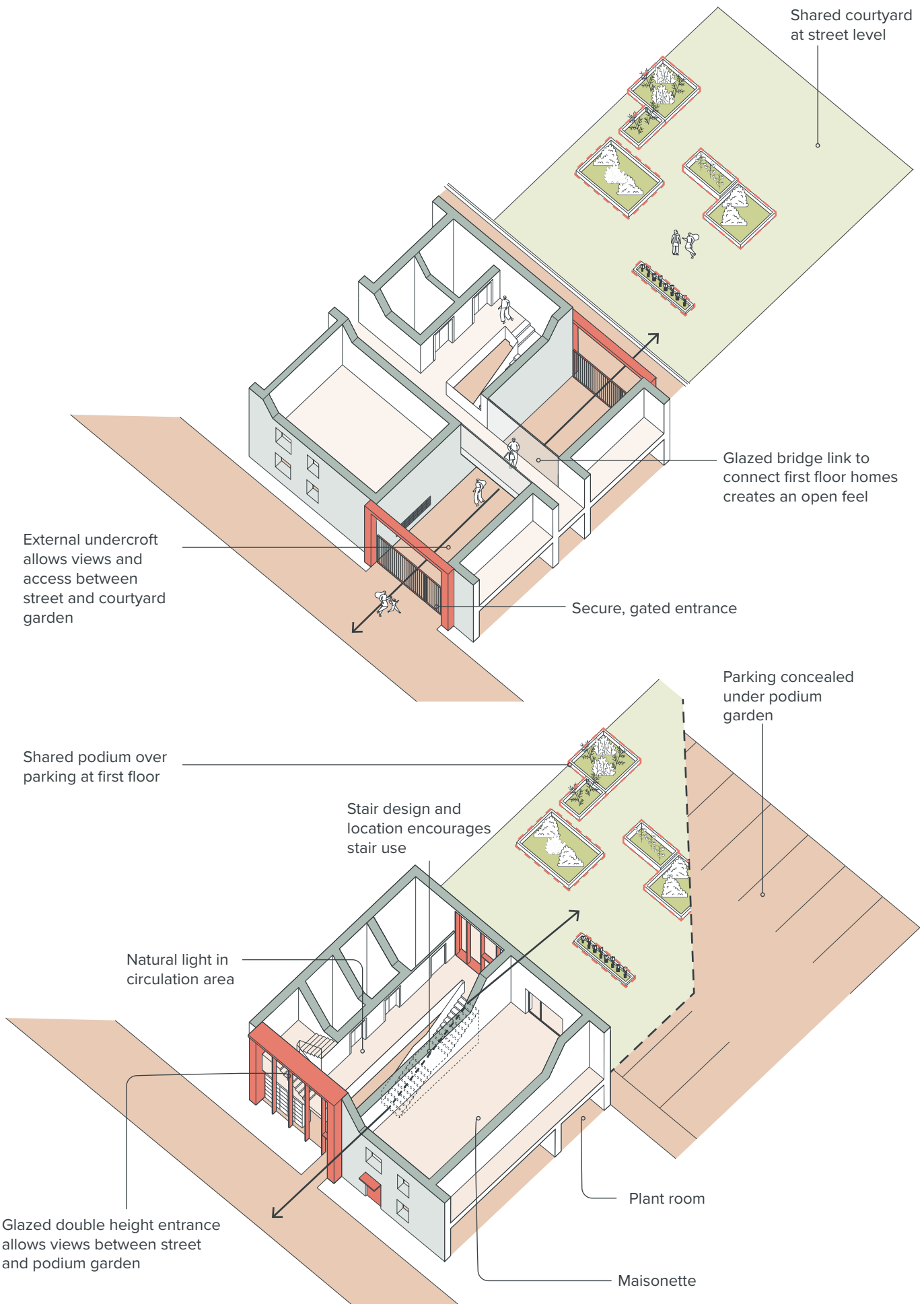
13. Communal amenity space over car parking may be appropriate where the building setting and management can support it. Where proposed, there **should** be a connection to the street, and the ground floor **should** have active uses. The access and ventilation for the car park **should not** compromise the communal amenity space for residents.
14. A balance of hard and soft landscape surfaces **should** be provided to ensure a pleasant and usable space, bring biodiversity and wildlife benefits and mitigate surface water run-off.
15. For planting to thrive, planting layout design **must** adequately consider aspect, location and function. The density and scale of planting **should** ensure meaningful areas from day one and plant protection fencing during establishment **should** be considered. Qualitative information on planting **should** be provided in the planning application.
16. To increase usability and encourage community, communal amenity areas **should** include grassed areas and space for residents to grow plants or vegetables, with the option of communal composting and rain-water harvesting, particularly in high-density areas.
17. Specialist advice **should** be sought when designing the planting for raised podia and roof gardens. Drought-tolerant planting will reduce the amount of water needed, and grass should generally be avoided.
18. Where communal amenity sits over parking, the design **must** consider adequate soil volumes and structure.
19. SuDS **must** be incorporated into designs to reduce the use or size of attenuation tanks. This can include permeable paving and planted interventions such as rain gardens and swales. Features will need appropriate detailing and plant specification.
20. All aspects of landscape design and palettes **must** consider maintenance.
21. The maintenance of communal amenity spaces may be undertaken by contractors. However, secure storage for garden tools **should** be considered as part of the design to promote community stewardship.
22. To ensure planting can be watered, a lockable and properly drained water tap **must** be provided within reach of all planted areas.
23. Loose surface finishes in communal amenity space **should** be avoided due to issues with vandalism and inclusive access.
24. Communal outdoor amenity spaces **should** include fixed permanent seating in well-placed locations with sections of backrests and arms.
25. To create a pleasant environment, at least 50% of each amenity space **must** receive at least two hours sunlight on 21<sup>st</sup> March. To achieve this, taller buildings **should** be positioned to the north and east to maximise sunlight. This is in accordance with BRE guidance for homes.

## 3.4 Outdoor amenity space

### Additional guidance for mainstream housing:



26. Outdoor shared amenity areas **must** be step-free to be accessible to all residents.
27. All communal spaces **should** be child-friendly by facilitating independent movement of children and young people.
28. Doorstep play for young children (age 0-5) **should** be well integrated into the design of communal outdoor amenity space. It **should** encourage independence and offer a range of experiences accessible by children with a range of abilities.
29. Naturalistic playable landscape features give children opportunities to interact with nature and **should** be considered in communal areas to complement doorstep play. These interventions can promote biodiversity and contribute to visual amenity.
30. Play areas **should** be well overlooked from neighbouring homes, but not located immediately adjacent to habitable rooms or private amenity space as the noise can be disruptive.
31. There **should** be direct access between private homes (or gardens) and communal areas. Where this is not possible, the route **should** be car-free.
32. Although important, play provision **should** not preclude use of the space by others.
33. For high-density schemes with houses, a generous shared rear alley or court for access, play and socialising may be appropriate. This approach **should** be discussed early on in the planning process.



Top: Double height communal entrance with views through to courtyard

Bottom: Double height internal communal entrance with views of raised first floor podium over parking

## 3.4 Outdoor amenity space

Additional guidance for later living and care homes:



34. Communal outdoor amenity spaces **must** be designed to reflect a range of physical and mental health needs. Looped walking routes **should** be considered, complemented by planting.
35. Landscape design and materials **must** consider a range of accessibility requirements including mobility aids.
36. Seating **must** be provided for residents which also integrates wheelchairs and enables residents to transfer from wheelchairs. Pausing points, handrails and leading points **should** be included.
37. Raised plant-beds **should** be considered to make gardening more accessible to residents.
38. The sound of running water is therapeutic so water features **should** be considered. Combining water features with naturalistic planting can promote biodiversity too.
39. There is no requirement for play areas as these homes will not be occupied by children. However, areas where guest children can play **should** be considered with an informal, playable character to avoid dominating space.



Extra care communal garden which is well overlooked with planting, seating, paved and grass areas

Additional guidance for homes with shared facilities:



40. Shared outdoor amenity space **must** be well overlooked by residents and other communal areas.
41. Spaces **should** be high quality and flexible in use. Outdoor sitting and eating areas **should** be provided close to the shared kitchen and dining areas.
42. There is no requirement for play areas as these homes will not be occupied by children. However, areas where guest children can play **should** be considered with an informal, playable character to avoid dominating space.



Co-living rooftop amenity providing a range of seating and socialising spaces, well overlooked by surrounding rooms

## 3.5 Communal internal space

### Guidance for mainstream housing:



1. There are additional facilities that help make living above ground and at higher densities more attractive, comfortable and accessible, particularly for families with children. As best practice, family sized homes above ground floor **should** have access to a dedicated, private store at ground floor for storing buggies, scooters and other bulky outdoor items.
2. Where there is no lift access within a building, all homes above ground floor **should** have a dedicated ground floor storage area.
3. Additional internal spaces for work and fitness may be attractive to residents and **should** be considered in higher density developments, such as build-to-rent especially where they can have a wider public benefit too. Where provided, they **must** be available to all residents regardless of tenure.

### Guidance for later living:



4. For C3 independent living developments, there is no requirement to deliver any shared internal space, however, it may be appropriate and attractive to have an area where residents can meet inside. Shared internal amenity spaces **must** not compensate for private or communal outdoor amenity as required in the Local Plan (see 3.4.1).



Multi-function communal area connected to entrance and shared garden in independent later living scheme

5. There **should** be a communal lounge for residents in extra care developments, with good daylight and ventilation. It **should** be a flexible space.
6. Extra care developments, **should** provide a resident dining area to serve 30% - 50% residents in a single sitting, depending on the provider's requirements.



Courtyard garden in extra care scheme connected to the resident dining area

7. A commercial kitchen of at least 25m<sup>2</sup> **should** be considered in most extra care developments to allow meals to be cooked on-site instead of a reheat-only kitchen. This can be difficult to integrate later, so developers **must** ensure appropriate discussions with the users ahead of the application.
8. Kitchen areas are assumed to be for staff only but **should** be immediately adjacent to the dining area.
9. In extra care developments a multi-purpose activity room **should** be provided. To make this usable, it **should** be a minimum of 12 m<sup>2</sup> with additional storage to support a range of uses. It **should** be linked to the communal outdoor amenity space to make it as flexible as possible.
10. A therapy room **should** be provided in extra care schemes. It **should** be a minimum of 10 m<sup>2</sup> and could be open to the public.
11. There **should** be a communal assisted bathroom with ceiling hoist in every extra care scheme and most independent living schemes **should** have one too. This is approximately 18m<sup>2</sup> and includes an accessible bath.
12. A communal laundry **should** be provided including space for ironing.
13. There **must** be an accessible toilet close to all shared areas.
14. Rentable storage **should** be considered as residents are often downsizing from larger homes.

## Guidance for homes with shared facilities



15. Shared facilities, are fundamental to the ethos and success of these housing types and **must** be provided in all co-living, HMO and PBSA developments.
16. The approach to communal areas **should** be design-led taking into consideration the composition and quality of the different spaces, their inter-relationships across the building and their use(s). For larger schemes, communal areas **should** include a variety of spaces for smaller group interactions; space for larger groups; and quieter spaces. The total area of internal communal space will vary depending on the size and number of the private rooms.
17. There is no restriction on the types of shared facilities and a market analysis **must** be carried out to inform proposed uses. However, not all uses will contribute to the requirement for shared areas.
18. Areas that are essential, but solely practical and non-habitable **must not** count towards communal internal space. These include:
  - Reception area / concierge
  - Toilets / washing facilities
  - Utility / laundry rooms
  - Plant rooms
  - Cycle stores
  - Corridors / lobbies
19. Practical and non-habitable spaces that do not contribute to the total shared amenity area do not need a window, although they **must** be adequately lit and ventilated.
20. Cooking, dining and living spaces **must** have excellent daylight and ventilation.
21. Any spaces that contribute towards communal internal areas **should** be accessible to all residents; however, certain rooms such as meeting rooms, multi-purpose studios or private dining spaces may be bookable where this supports effective management and enhances resident experience.
22. Communal areas **must** be designed with flexibility in mind and be fully accessible and usable by all, including residents or guests in a wheelchair.
23. Kitchen and dining spaces **should** be combined, or close to each other.
24. Communal internal areas **should** adjoin outdoor communal areas to maximise the use of both.
25. Developers **should** consider making some of the communal facilities (such as a bar area, gym or workspace) publicly accessible to integrate the scheme into the local community. Facilities that are open to the public can contribute towards the communal area, although may need to increase in area.



## 3.5 Communal internal space

26. Laundry space **must** be remote from living and dining areas in a separate cupboard or room, although it can be in a standalone kitchen.
27. Separate laundry areas **must** be well ventilated.
28. To avoid noise transfer the laundry area **should not** be adjacent to a private room.
29. Optional additional storage **should** be provided for residents in addition to the communal area requirements.
30. All buildings **must** provide a toilet for guests to use close to communal areas. For HMOs, this may be the shared facility, but for developments with en-suites, this **must** be separate.

### Additional guidance for co-living:

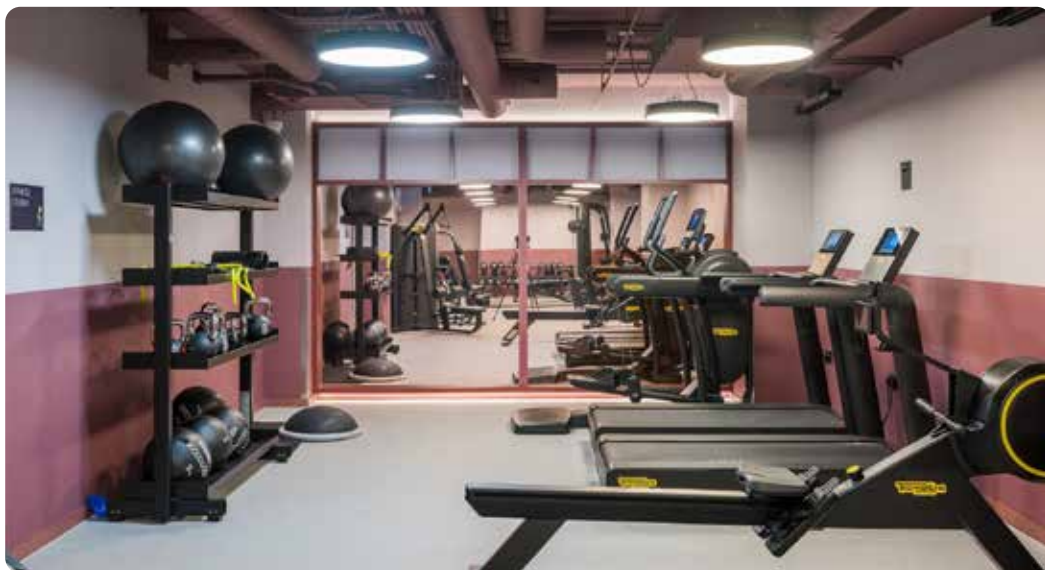


31. The spirit of co-living is that many of the private functions of the home are shared, so alongside private rooms (see 4.1) co-living developments **must** provide meaningful internal communal spaces for residents to use throughout the day. The combination of private and internal communal areas **must** be in line with the Local Plan and consider the guidance within this document.
32. The total area of internal communal space will vary depending on the size and number of private rooms. A minimum requirement of 4.5m<sup>2</sup> per bedspace **must** be provided to contribute to the communal internal space in the development, however where private room sizes are smaller, it is expected that a higher quantum of communal space is achieved to help offset this.



Lounge area furnished with a range of comfy seating arranged for socialising

33. The internal areas within co-living **must** provide space for cooking, dining and living (lounge / common room). Any other area that can be used for relaxing, activities or socialising can be included such as:
- Gym
  - Workspace
  - Multi-function room for classes
  - Screening room / cinema
  - Games room



Exercise area and gym for communal use

34. Internal communal (social/living) spaces **should** be distributed across the development to promote use and be easily accessible to all residents.
35. Provision of internal communal space **should** be attractive and of high-quality to encourage incidental meetings, socialising, lounging, engagement and recreation. This means it **should** be adequately sized, well located, and not provided as ‘leftover’ space.
36. Sufficient and comfortable seating (sofas and lounge chairs) **should** be provided in spaces where residents are expected to spend time. There **should** be enough seating for all residents and their guests.
37. All communal rooms **must** provide adequate ventilation, usually through an opening window that provides daylight too.
38. All private co-living studios **should** be on the same floor as a cooking and dining area so a resident doesn’t have to travel between different floors to prepare meals.
39. There **should** be a maximum of 12 people sharing a single cooking area to encourage neighbourliness but maintain a relatively domestic scale (see 3.5.40).

## 3.5 Communal internal space

40. Communal kitchens **should** be designed to encourage group interactions, and the layout **should** be sufficient for everyone to prepare their meal at times of high demand. Applicants **should** demonstrate the proposed provision and how its operation will meet the needs of residents and their visitors.
41. Dining spaces **should** enable people to eat where they cook, either alongside communal kitchen facilities, or with other communal space located near the kitchen facilities.

### Additional guidance for HMO and PBSA:



42. People living in HMO and PBSA will live in clusters as part of a larger development. Residents are expected to socialise, cook and eat all meals in the communal space. The development **must** provide communal space for cooking, dining and living in line with the table below:

No. of people	Combined cooking, dining, living area
3	25 m <sup>2</sup>
4	27 m <sup>2</sup>
5	29 m <sup>2</sup>
6	31 m <sup>2</sup>
7*	33 m <sup>2</sup>
8*	35 m <sup>2</sup>

43. In order to encourage neighbourly interaction, HMO clusters **must not** serve more than six people. This applies to both use class C4 (three-six individuals) and sui generis (seven - eighteen individuals). For further definition of sui-generis HMO, see the Glossary in Appendix A.
44. To encourage a collegiate environment and prevent isolation, all student rooms in PBSA **must** be grouped in clusters of no more than eight people. This includes any larger studios that have some facilities in their room (see 4.1).
45. The communal internal spaces **must** be shown furnished in planning applications to demonstrate that all residents can cook, dine and socialise together. This includes comfortable seating in the living area.

.....  
*\* PBSA only as HMO clusters can only extend up to six individuals*

46. Areas that are solely practical and not-habitable **must** not count towards communal internal space (see 3.5.17).



Kitchen and dining area in PBSA cluster

47. Additional facilities such as workspaces and exercise rooms may be valuable, particularly in larger PBSA schemes, but they **must** be provided in addition to the basic facilities and living areas (see 3.5.32).



Study space in PBSA for all residents to use

## 3.6 Staff areas and facilities

Guidance for all homes:



1. For housing with any shared areas, there **must** be a cleaner's store with sink associated with every core. On taller buildings, these **should** be repeated on several floors.
2. Building management and maintenance staff facilities may be necessary in some larger schemes and can be combined with the cleaner's store. Facilities **should** include:
  - Ambulant WC and wash hand basin
  - Sink area with kettle
  - Fridge
  - Shower
  - Desk and chair
3. Where a concierge is proposed, there **must** be an available accessible WC and small private staff area with lockers.

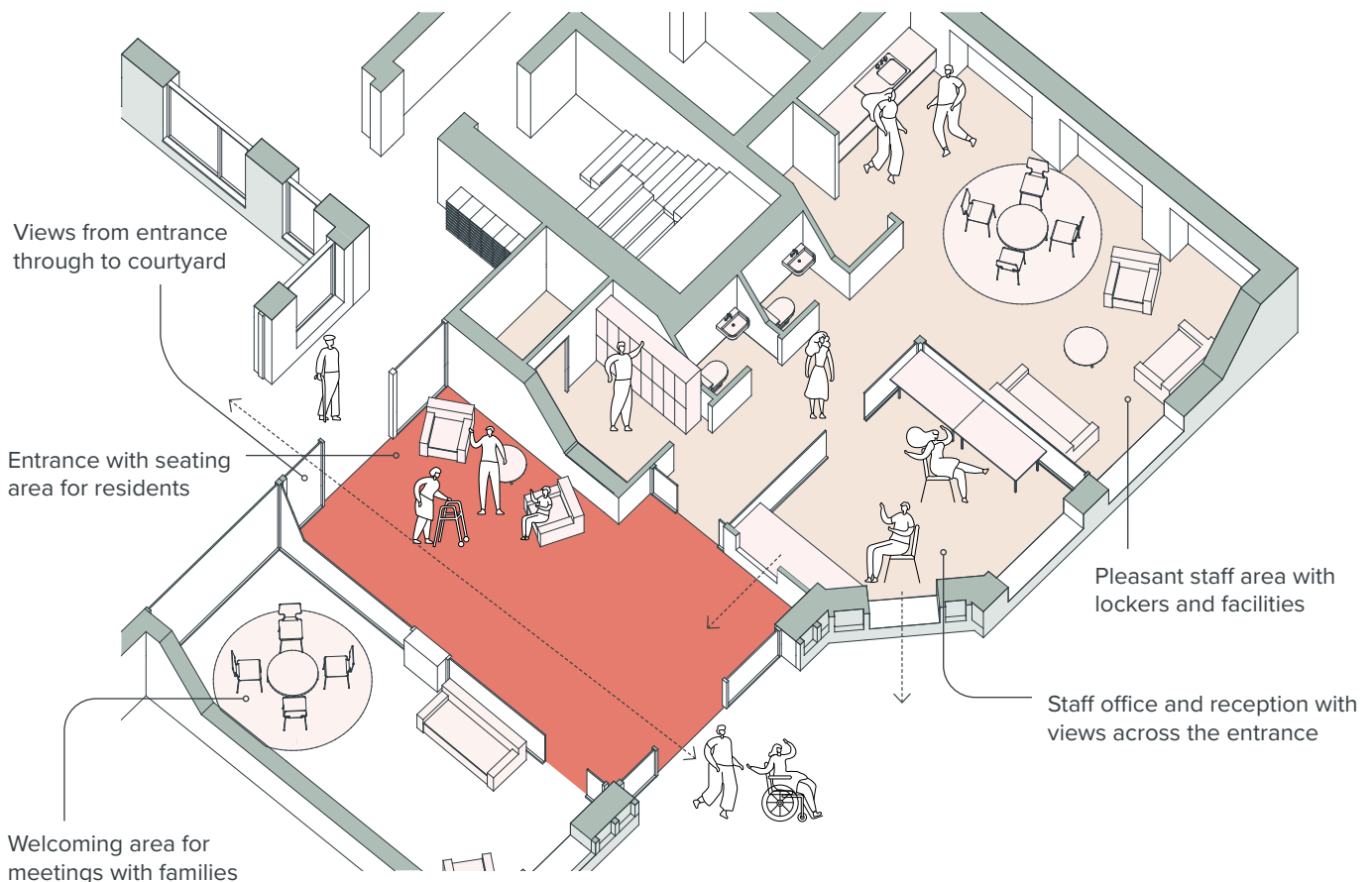


Entrance with concierge has concealed but convenient staff facilities and good signage for wayfinding

### Additional guidance for later living:



4. Staff showers and change areas **should** be considered for all later living schemes, including for visiting staff, where there are no permanent staff on site.
5. For extra care, staff rest and change areas **must** be provided, including showers, lockers and break-out space
6. For extra care, a staff office **should** overlook the entrance area.
7. For extra care, there **should** be a small meeting room capable of use by wheelchair users with suitable hearing enhancement.



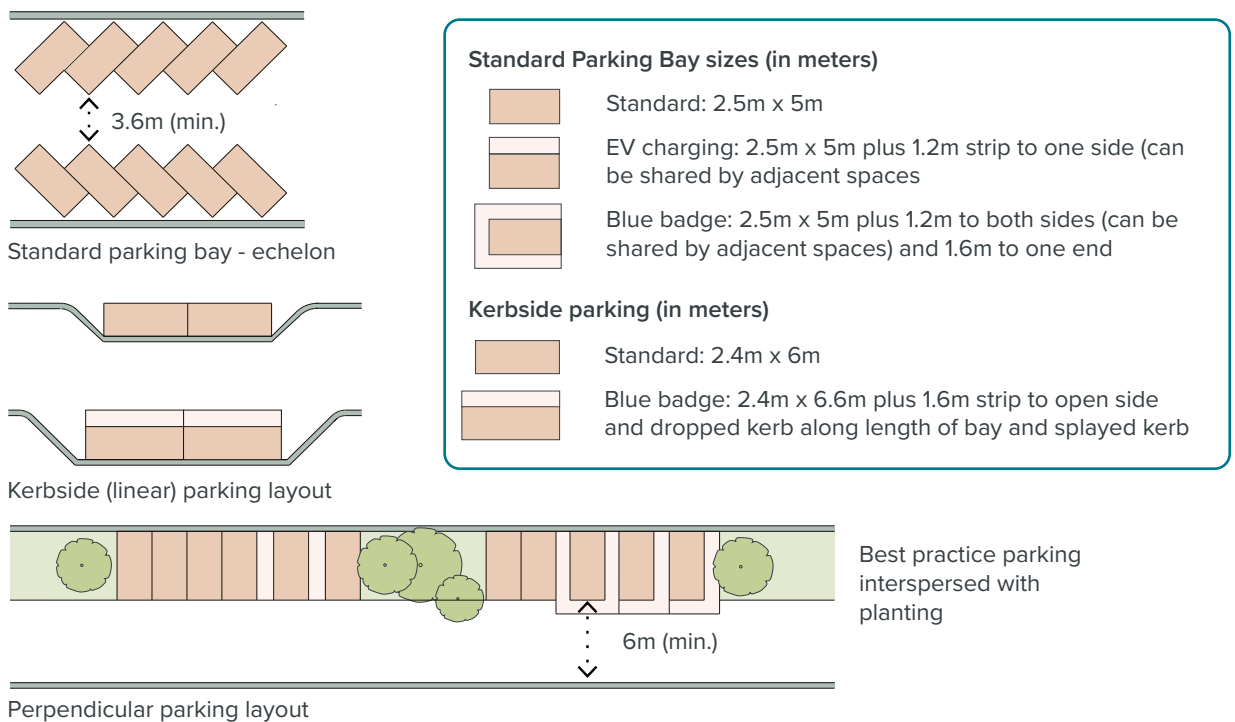
Extra care housing entrance surrounded by staff areas and shared uses. Good visibility through the building and from staff areas

# 3.7 Parking

## Guidance for all homes:



1. Parking for vehicles and motorcycles **should** be convenient and close to the home / communal entrance of a building. Routes to parking from the doorstep **must** consider inclusive access with dropped kerbs in key locations to allow access by all.
2. Applicants **should** consider reducing parking numbers by including car clubs.
3. Parking spaces **should** be designed to meet relevant accessibility and safety standards. The diagrams below illustrate layout options that may be appropriate, but they are not exhaustive. The LPA will consider location, layout, safety, accessibility, practicality and screening to ensure the parking strategy is efficient and benefits the street scene/development.



Options for parking layouts and required bay sizes

4. Parking can dominate large areas and car ownership is expected to reduce in the future. Imaginative re-purposing of parking areas will be made easier if they are designed with pedestrians in mind from the start. Planting, trees, paving and level surfaces will enable re-use of parking spaces either permanently or for infrequent community events. Asphalt surfacing **should** be broken up with paving banding to avoid a traditional highway appearance.

5. Any external parking area (including on-street) **must** use robust materials suitable for vehicular traffic and with clear delineation of parking bays. In off-street locations, numbered parking bays may aid parking management.
6. External communal parking areas **must** be interspersed with trees and planting to provide relief and visual amenity. Runs of perpendicular parking bays **should** be limited to 7-8 before being broken by trees and planting.
7. Parking courts with more than 12 spaces **should** include trees as well as other planting/landscaping.
8. External parking areas (including on-street) **should** provide trees with clear canopy height of min. 2.5m between parking bays. Multi-stem trees **should** be avoided as they will impair visibility.
9. Adequate space **must** be allowed for trees to thrive. A width of at least 1.5m will offer a reasonable tree rootball to be planted. Allowing tree planting to occupy a space of one parking bay assists layouts and will give the best chance of achieving mature canopy cover.



Car parking court with integrated planting. Flexible space can be used communally.

10. Parking spaces **should not** be unduly close to living room windows. A buffer of at least 1.5m from the building line or amenity space will mean the view from the window is not compromised (see 4.8 for on-plot parking).
11. Where possible, parking **should** be surfaced with permeable paving finishes, with a preference for unit-paving. Loose surface or uneven materials are not accessible for pedestrians and **should** be avoided.
12. Parking courts can be a good way to keep streets car-free and pedestrian focused, so **should** be considered where possible. SuDS interventions such as permeable paving and planted rain gardens/swales **should** be included.

## 3.7 Parking

13. Internal/covered car parks **should** rely on natural ventilation but not to the detriment of the amenity space above.
14. Undercroft, podium and under-deck car parks are well suited to apartment buildings, however they **must not** have a detrimental impact on the street scene or character by creating inactive frontages, preventing access and views through the development. Consider wrapping maisonettes over internal car parks and providing amenity over (see 3.4.13).
15. On-street parking **should** be located to avoid key pedestrian desire lines, sight lines and the related obstruction of pedestrian movement.
16. For higher density housing schemes, on plot parking for individual homes **should** be integrated into the building in the form of garages and car ports to avoid car dominance on the street. Driveways may be proposed for lower density housing schemes, where large front gardens suit the context.



Car ports integrated into house design to keep streets car free

17. Garages and car ports **must** be built as external spaces and not convertible into habitable rooms. Consider the location and arrangement on the thermal line by pairing them along a street.
18. The quantum of Blue Badge bays, loading bays and maintenance provision **must** be understood at an early stage. This is particularly important on 'zero parking' schemes.

19. Demarcation of Blue Badge bays **must** be clear, using visual contrasting materials or white line markings.
20. Visitor parking will be dictated by the site constraints. Where provided, it **should** be evenly distributed and not at the expense of shared green space.
21. On high-density schemes, a taxi/delivery drop-off area (2.5m x 5.5m) **should** be provided close to the main communal entrance door.
22. Where there is a requirement for EV charging points, they **must** be conveniently located but avoid cluttering the street / public realm and designed to PAS 1899 guidelines.
23. Every front garden where there is potential to park a car or mobility scooter **should** have electric vehicle (EV) charging capacity.

#### Additional guidance for later living:



24. Space for delivery/taxi drop off close to the main entrance **must** be included.
25. Space for ambulance drop off **should** be considered. It may be suitable for this to be close to an alternative entrance.

#### Additional guidance for homes for homes with shared facilities:



26. Space for delivery/taxi drop off close to the main entrance of the building **must** be included.

## 3.8 Cycle storage and mobility scooters

Guidance for all homes:



1. It is important that residents are encouraged to use sustainable modes of transport, so all developments **must** propose suitable and convenient storage for bicycles with an appropriate mix of stand types and adequate spacing and facilities for larger cycles. This includes space for non-standard cycles as well as more space efficient two-tier stands.
2. Long-stay communal cycle storage **should** be internalised. Where this is not possible, a secure, covered area **must** be provided close to the entrance.



Internal cycle storage

3. In larger developments, a number of smaller cycle stores serving fewer homes **should** be considered to encourage use. Cycle stores serving 20 or more homes **should** be split into smaller secure sections.
4. Internal cycle stores **should** be grouped with refuse stores, plant rooms and other unheated spaces to simplify the building's thermal line and avoid unnecessary heat loss across the building. However, large areas of inactive building frontage **must** be avoided.
5. Cycle stores visible and accessible from the public realm pose a security issue, so stores **should** be accessed from a communal area only - for example, a communal garden with direct access to the street. Where this is not possible, access doors on to the public realm **must** be well overlooked.
6. Cycle stores can be noisy as people manoeuvre bikes and allow doors to slam closed. Doors **should not** be adjacent to habitable room windows or private amenity space.

7. Cycle doors **must not** open directly on to a path where they might impede someone's path or cause injury.
8. Where bikes are to be taken through the building, the access should be generously wide and step free. Building finishes **must** be robust and easily cleaned. Lift sizes will need to be considered if they are to be used for bikes.
9. Mobility scooter storage **must** be considered, and provision may be within the shared cycle stores. The requirements match those of a cycle store for access and security, and the stores **must** be accessible with charging points. Consider fire risks and management issues associated with charging.
10. Electric bikes **should** be considered in communal stores, along with additional security and management of charging points.
11. Visitor spaces can be external but **must** be easily accessible and well overlooked. They **should** be located close to the building entrance within the public realm and do not need to be covered. Cycle parking stands or racks **should** allow the bicycle frame and both wheels to be adequately secured.
12. Any spaces provided for staff **must** be secure and covered.
13. Entrances to communal cycle stores **must** be well lit.

#### Additional guidance for mainstream housing:



14. Two-tiered bike racks save space and can store most types of bikes. However, in order to promote inclusive access to sustainable transport for all age groups and abilities, 15% of spaces **should** be provided in single / Sheffield style stands and an additional 5% of spaces **should** be suitable for larger and non-standard cycles, so residents can store scooters, cargo or adapted bikes too.

#### Additional guidance for later living:



15. This type of housing **must** provide space to store and charge outdoor wheelchairs and motorised buggies in addition to bicycles. Store areas may be multi-use spaces with charging points, and space for non-standard cycles **should** be provided. Provision will depend on the intended residents and **should** be discussed with the LPA ahead of the planning application.

## 3.9 Waste and recycling

Guidance for all homes:



1. The integration and management of waste storage facilities **must** be well considered as it impacts the use and enjoyment of residents and those who share the building and neighbourhood. A well-designed solution can positively impact user behaviour, enable efficient management, and support the quality of the street scene and experience of the public realm.
2. For major applications, the waste strategy **should** be discussed with the LPA ahead of the planning submission.
3. Unless stated otherwise, the assumption is that Council collection is proposed. Any other arrangement **should** be discussed with the LPA ahead of the planning submission.
4. Applicants **must** accurately size refuse, recycling and food waste stores in line with the collection method and frequency in their area and to meet the table below:

Use class	Collection method	Capacity per person	Refuse (Fortnightly collection)	Recycling (Fortnightly collection)	Food waste* (Weekly collection)
Mainstream housing and later living**	Kerbside (street collection)	n/a	1no. 240L bin	1no. 240L bin	1no 23L caddy
HMOs	Kerbside (street collection)	n/a	1no. 240L bin for every 5 occupants	1no. 240L bin for every 5 occupants	1no 23L caddy for every 5 occupants
All housing types	Communal	100L per occupant per fortnight	50L per occupant	50L per occupant	5L per occupant

Assume refuse and recycling are collected alternately, so one collection per week.

Some areas may have different arrangements, meaning early engagement with the LPA is important

\* Applications must make provision for food waste storage and collection, anticipated from 2026.

\*\* Based on homes for up to six people. Additional bins may be required for homes with more than six people or where someone has a waste-generating condition.

5. Major developments may have a combination of kerbside and communal collections. Any home with a front door on to the street **should** have kerbside collection.
6. For kerbside developments using council collection, designs **must** allow for:
  - Industry standard 23L food waste caddies
  - 240L bins for refuse and recycling
7. For homes with communal bin storage, designs **must** allow for:
  - 1100L bins for refuse and recycling
  - Communal food waste in 240L wheeled bins
8. LCC want to ensure residents are able and encouraged to recycle as much of their waste as possible, so all developments **must** ensure recycling and food waste bins are as available and accessible as refuse bins.
9. Where the calculations do not result in a whole number of bins, the total number of bins **must** be rounded up.



Duplex homes at ground floor with dedicated area for bin storage within front garden

## 3.9 Waste and recycling

10. Refuse operators **must** be able to park the lorry within 10m of the bins without having to walk on private domain (i.e. front gardens). This means a maximum of 10m to the door of a communal store, or the individual bin for kerbside collection. Where this is not possible, applicants **must** propose a management strategy where bins are moved to an appropriate area within the 10m drag distance. The refuse collection area **should** be secure as it cannot be vulnerable to improper use which will prevent it being used for bins.
11. If the waste strategy requires a management plan, for example to rotate bins, or move them on collection day, it **should** be discussed with the LPA ahead of the planning application.
12. Individual bins **should** be stored off streets to the side or rear of homes where possible (see 4.8 and 4.9). Where this is proposed, there **must** be a clear, wheel-able route between storage and collection points. Residents **must not** be expected to wheel bins through their home.
13. Any individual bins that can be seen from the public realm **must** be in a store, which is integrated into the design. The proposals for these **should** be submitted with the planning application. (See 4.8.5)
14. A communal bin store **should** be within the building it serves, in a location that is convenient and easily accessible to occupants, such as close to the building entrance.
15. Communal bin stores **should** be internal. Where external stores are provided, they **must** be integrated sensitively into the landscape and/or architectural design of the wider proposal, with robust, high-quality and contextual materials. The details need to be included with the planning submission.



Doors to refuse store are easily accessible from core entrance but set back and set away from habitable rooms

16. In line with Approved Document H: Drainage and waste disposal (AD-H) residents **should not** need to travel more than 30m (excluding vertical travel) from their home to the bin store.  
*For conversions, or on challenging sites, alternative arrangements may need to be considered, such as managed intermediate bin stores.*
17. Communal bin stores **must** be accessible to all, with step-free access, inclusive signage and suitable lighting. Additional space for lower, accessible bins **should** be considered.
18. Long and narrow stores **should** be avoided where there is no management strategy, as the bins close to the door tend to overflow and the bins further away are not used.
19. If refuse operators are to collect bins directly from a communal store, they **should** have direct access without needing to negotiate a lobby or corridor.
20. There **must** be adequate ventilation into bin stores.
21. Bin store doors **must not** open directly on to a path where they might impede someone's path or cause injury.
22. Bin stores **should** be designed and positioned to minimise the impact of noise, smell and traffic to nearby homes. The proximity of residential windows and private amenity **must** be considered.
23. Internal bin stores **should** be grouped with cycle stores, plant rooms and other unheated spaces to avoid unnecessary heat loss within the building. However, large areas of inactive building frontage **should** be avoided (see 2.2.12).
24. A lockable tap for cleaning and gulley on the floor **must** be provided in all bin stores.
25. A hand wash basin with timer push top tap **should** be provided in communal refuse stores in major developments as it is expected that residents will dispose of waste when they're on their way out.
26. For flatted developments of 25 or more homes, there **must** be dedicated internal storage space for bulky waste and for smaller schemes this **should** be considered. The dedicated area **should** be proportionate to the number of homes, with a recommended minimum of 8m<sup>2</sup>. This space is required per scheme, not per building or core. The intention is to avoid bulky waste items being left in shared spaces or cluttering the public realm.
27. On mixed use schemes, there **must** be separate waste strategies and separate store rooms for each building use.
28. Waste chutes **must not** be proposed in residential developments because they cause management, safety and odour issues.

## 3.9 Waste and recycling

29. Underground bin stores **should** be considered in large developments where refuse stores would become unmanageable. They bring benefits of freeing up ground floor internal space, avoiding inactive frontages and reducing odour and mess. This strategy **must** be discussed with the LPA at an early stage of design development.



LCC underground bin collections which free up space within the building and help prevent odours and mess

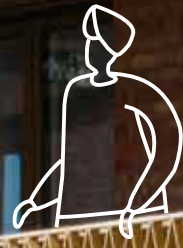
30. The council will encourage, where appropriate and feasible, the use of new and innovative smart waste collection systems. In all instances, applicants **must** consider the sensitivity of location and access requirements. Early discussion with the LPA during pre-application stage is encouraged to optimise an appropriate solution.

### Homes with shared facilities



31. Where a building needs to demonstrate how it would be converted into mainstream housing (see 4.1.43) amendments to the waste storage and collection strategy **must** also be demonstrated as part of the application.







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# Chapter 4: Homes, gardens and balconies

Liverpool has long understood that housing is more than just bricks and mortar. In 1869 the first council housing in Europe was built in the city. Our current housing stock reflects the organic growth and industrial past, with sweeping Georgian terraces, sedate Victorian villas and Edwardian townhouses layered with post-war estates, high rise towers, suburban extensions and contemporary regeneration developments.

Each era has reflected social change and brought new architectural styles and priorities. Today, high quality housing remains crucial to supporting the health and vitality of the city. Everyone, in each corner of Liverpool, deserves to have a home where they feel comfortable and safe.

Good housing should foster neighbourliness, while also providing quiet, private spaces for each household. Our home is much more than a place to sleep and eat and must be designed to provide sociable and private spaces to grow, play, unwind, work, study and dream.

Private outside space, such as gardens, balconies and terraces, are valuable spaces for relaxation, leisure, daily wellbeing and connection to nature. Every household is different too and every home will (and should) be used in a unique way.

This guide sets out design principles that promote light filled, flexible, well-proportioned and well-planned homes, with linked external space, ensuring housing in Liverpool has a sustainable, enduring quality to serve its people today and for generations to come.



4. Homes, gardens and balconies

## Guidance for all mainstream housing and later living:



1. All new homes **must** comply with the Statutory Guidance: Technical Housing Standards – Nationally Described Space Standard (NDSS) for internal areas as a minimum as set out in the Local Plan.  
  
The sizes of homes set out within NDSS are considered to be the minimum to deliver an acceptable standard of living. Applicants **should** aspire to provide homes which exceed these minimum standards.
2. In new homes, ceilings **should** be raised to improve spatial quality, daylight and sunlight penetration in line with the Local Plan  
  
*In conversions, ceiling height will be restricted by existing structure and may be further compromised by services. Every effort **must** be made to maximise ceiling height and anything lower than NDSS should be agreed with the LPA ahead of the planning application.*
3. In urban centre locations, where developments front onto commercial streets or streets that are anticipated to have significant footfall, the need for future adaptability - converting residential to commercial uses - **should** be considered. In these locations, the Council may require floor to ceiling heights to be a minimum of 3.5 - 4 meters.
4. All rooms **should** be well proportioned and of regular shape so they are easy to furnish.
5. Downstands to conceal structure and services **should** be avoided and limited to non-habitable spaces.
6. To afford future flexibility in layout, load-bearing walls **should** be avoided within the home. Structural columns **should** be within external or party walls, where this is possible without over-engineering the structure.
7. All new homes **must** be accessible and adaptable, achieving AD-M4(2) and AD-M4(3) in line with Local Plan requirements.
8. Where enhanced accessibility is required but can not be achieved - for example where can be no level access to an upper floor - the home **should** still deliver on all possible aspects of the requirement.
9. The principal bedroom in all new homes **must** be of sufficient size to accommodate a double bed while maintaining the required clear access zones.

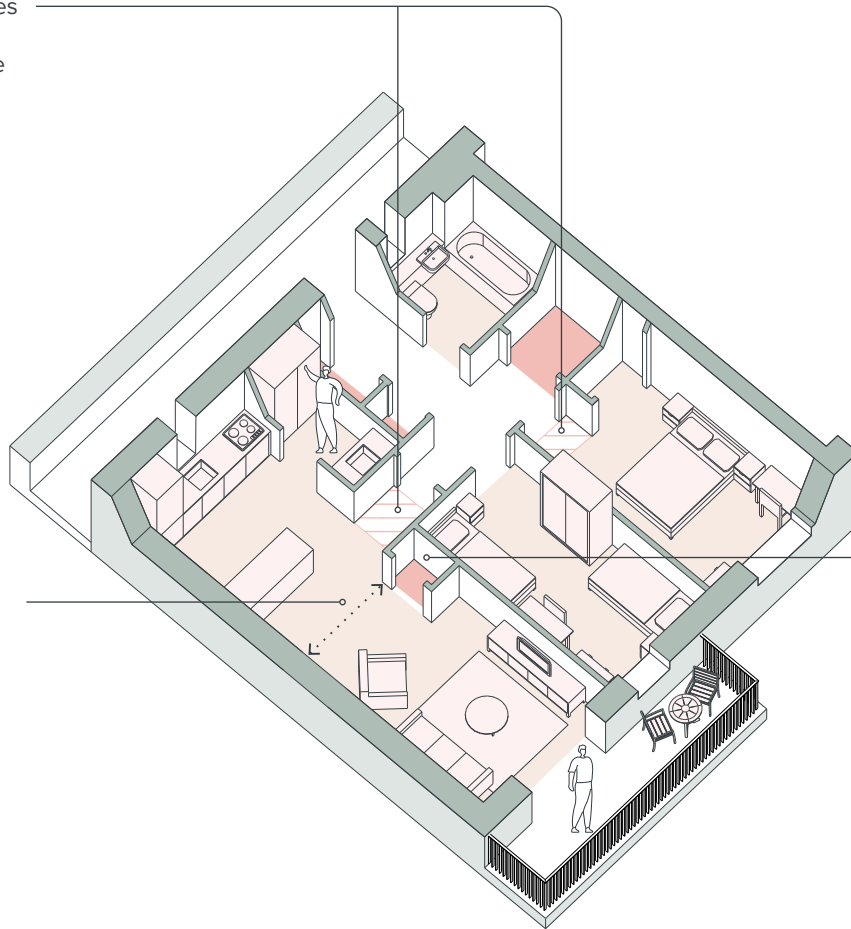


10. NDSS minimum areas may not be sufficient for AD-M4(3) homes so they **should** be larger to incorporate furniture and activity zones.
11. Intergenerational homes with two or more adult generations living together are welcomed. Applications **should** demonstrate how these homes can be used flexibly.
12. In major developments, applicants are encouraged to include mainly double or twin rooms because these are more flexible and desirable long-term. Single bedrooms **should** be restricted to larger homes where there is already flexibility.
13. Family housing with three or more bedrooms **should** generally be at ground floor or lower levels so families can benefit from a garden, connection to outside space / play areas and easier access.
14. Where known, developers should liaise with future residents or their representatives when establishing the brief for AD-M4(3) wheelchair user homes. Where unknown, they **should** be built to adaptable standards (M4(3)(2)(a)). It **must** be clear how they could be converted easily to an accessible home (M4(3)(2)(b)).
15. AD-M4(3) wheelchair user homes require a wheelchair transfer and charging zone. For practicality, this **should** be close to the front door. However, designers **must** ensure the proposed location does not block the escape route should the battery catch fire. The proposal **must** be reviewed by a fire engineer ahead of the planning submission.
16. Modern methods of construction (MMC) and Design for Manufacture (DfM) can offer benefits during construction. Where proposed, the opportunities and constraints of these systems **should** be considered before planning submission and be explained in the application.
17. In open plan layouts, the measured floor area **must** be clearly identified. It **should not** include any 'corridor like' portion of a room which is under the minimum width set out in NDSS or the Local Plan.
18. The main living area in a home for up to two people **should** be at least 3m wide, increasing to 3.5m wide in homes for three people or more. Any built-in storage or furniture **should not** encroach into this width.
19. Areas **must** be measured using Royal Institute of Chartered Surveyors (RICS) New Rules of Measurement latest edition.

Narrow entrance spaces should not count towards the area of the room

Minimum width should be measured at narrowest point

Any space that counts towards the storage in the home must not be included in room area



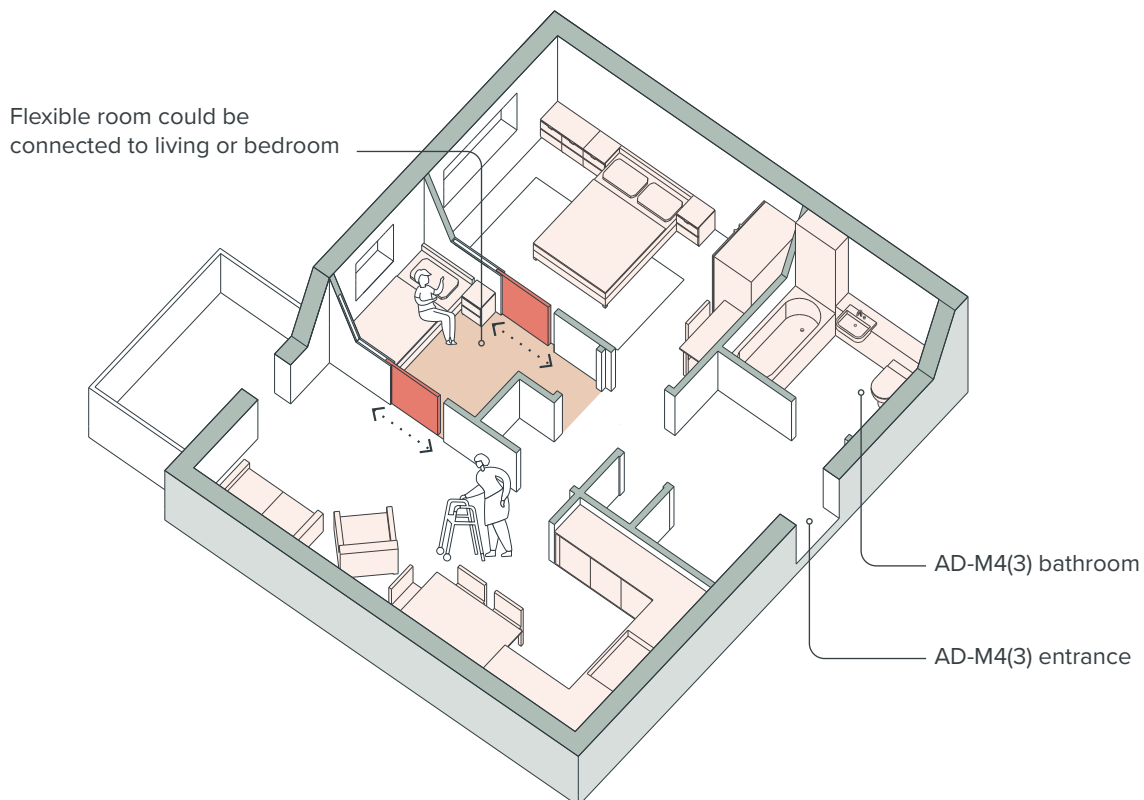
Layout of 2 bedroom flat with well proportioned rooms

# 4.1 Internal space and accessibility

## Additional guidance for later living:



- 20. Single storey homes **must** make up the vast majority of homes for later living developments, to avoid the need to use stairs.
- 21. Where possible, elements of AD-M4(3) **should** be incorporated to all housing for older people, for example in the entrance area and bathroom.
- 22. Older people may be downsizing from a larger home. Whilst they may only need one bedroom, they may benefit from extra space to host family, or for hobbies or equipment. Applicants **should** consider a 1B2P 'plus' model with a flexible additional space that could be connected to the bedroom or living area or separated, making the downsizing more attractive and practical.



Layout of a 1 bedroom flat with improved accessibility and additional flexible room

### Guidance for homes with shared facilities:



23. These homes will have a private room and **must** have access to internal and external communal space. The spirit of these housing types relies on using shared facilities, these are not self-contained homes and **must not** be designed as such.
24. These homes are not designed to C3 requirements and therefore do not need to achieve NDSS areas. In fact, private rooms, including those for wheelchair users **must** be smaller than 37m<sup>2</sup> to avoid being considered a mainstream housing.
25. Private rooms **must** be accessed via a shared area rather than have independent street access.
26. Most homes within these tenures **should** be for single occupancy, although some larger studios or rooms may be provided for couples. The occupancy of each individual unit **should** be clearly stated as it will be conditioned as part of the planning approval.
27. Developers **should** consider providing a range of rooms sizes to suit lifestyles and budgets.
28. At planning stage, these schemes **must** clearly provide details of:
  - Total number of individual rooms and occupants
  - Smallest and largest size of private room.

Additional guidance for co-living:

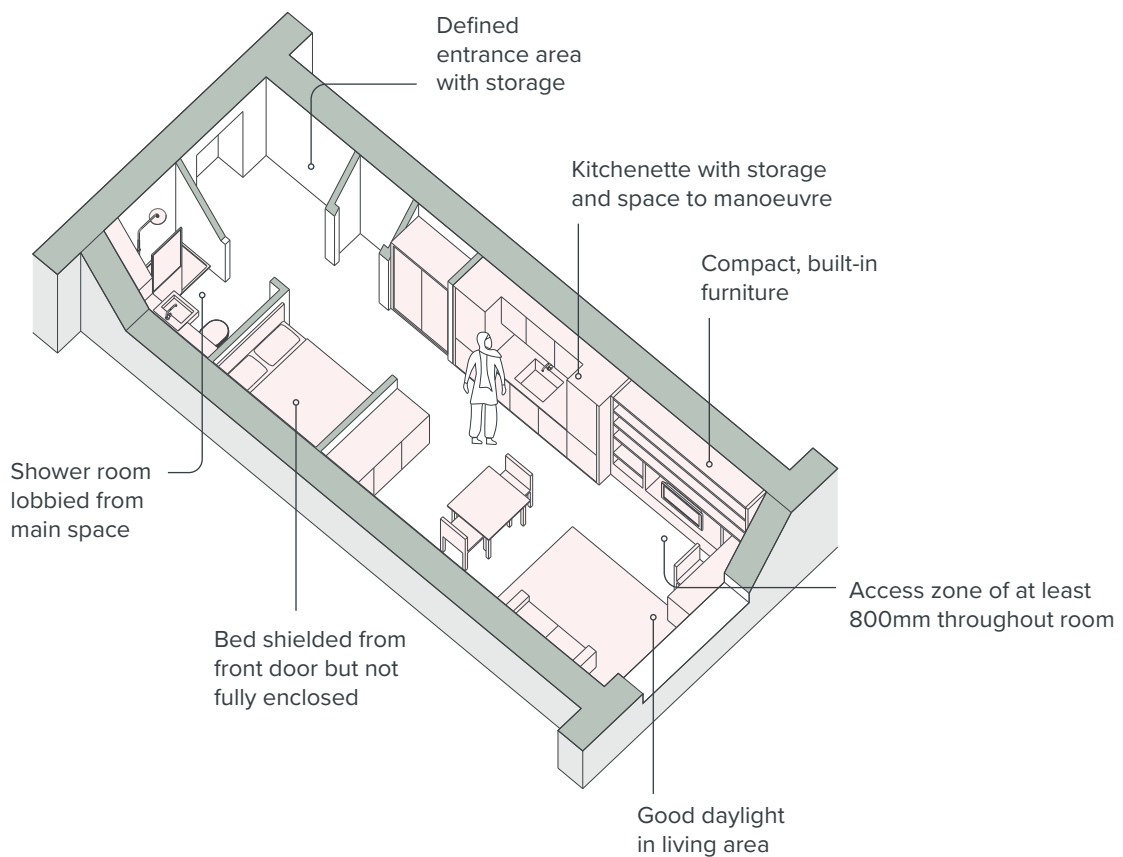


29. Private rooms **must** be larger than 25m<sup>2</sup> and smaller than 37m<sup>2</sup>, and include en-suite facilities of a shower, toilet and basin within that area.
30. In co-living schemes, private rooms which meet the needs of wheelchair users **must** demonstrate the same furniture requirements with enhanced access and manoeuvrability zones. They **should** be located throughout the development to offer a range of options. They **should not** be grouped at ground floor, as often this is where natural light is the poorest.



Compact living area with good natural light

31. A co-living studio **must** provide as a minimum:
- Double bed
  - Desk with chair (1050 x 500mm)
  - Wardrobe (1200 x 600mm)
  - 1m<sup>2</sup> storage
  - Small sofa
  - Dining area for 2
  - Kitchenette
  - En-suite shower room (within room area)
32. Rooms **must** be at least 2.55m wide at the narrowest point.



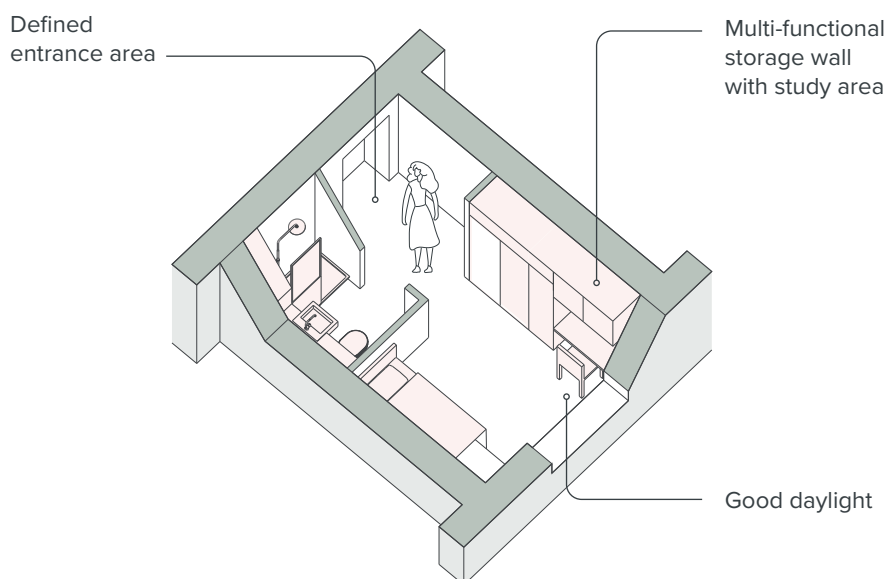
Indicative co-living studio room layout

## Additional guidance for PBSA:



33. All accommodation **must** have the same access to shared facilities (see 3.5.15 onwards).
34. A student bedroom **must** be a minimum area of 12m<sup>2</sup> and show as a minimum:
- Single bed
  - Desk with chair (1200 x 600mm)
  - Wardrobe (1200 x 600mm)
  - Chest of drawers (450 x 750mm)
  - 0.5m<sup>2</sup> storage
  - En-suite shower room (within room area)

Rooms **must** be at least 2.15m wide at the narrowest point.



Indicative student bedroom layout

35. PBSA **should** provide rooms with en-suite facilities, or a basin where this is not possible.
36. Up to 20% of student rooms can be larger 'student studios' **must** comply with all the requirements of a co-living studio (see 4.1.29 - 4.1.32). They must comply with all other elements of PBSA including access to shared facilities in 3.5.

37. In PBSA, private rooms which meet the needs of wheelchair users **must** demonstrate the same furniture requirements with enhanced access and manoeuvrability zones. They **should** be located throughout the development to offer a range of options. They **should not** be grouped at ground floor, as often this is where natural light is the poorest.
38. To ensure long-term viability of new developments, LCC would like to ensure PBSA developments could be converted into mainstream housing, should the development no longer be required for students. Floor plans showing an overlay of conversion proposals **must** be provided as part of the planning application.

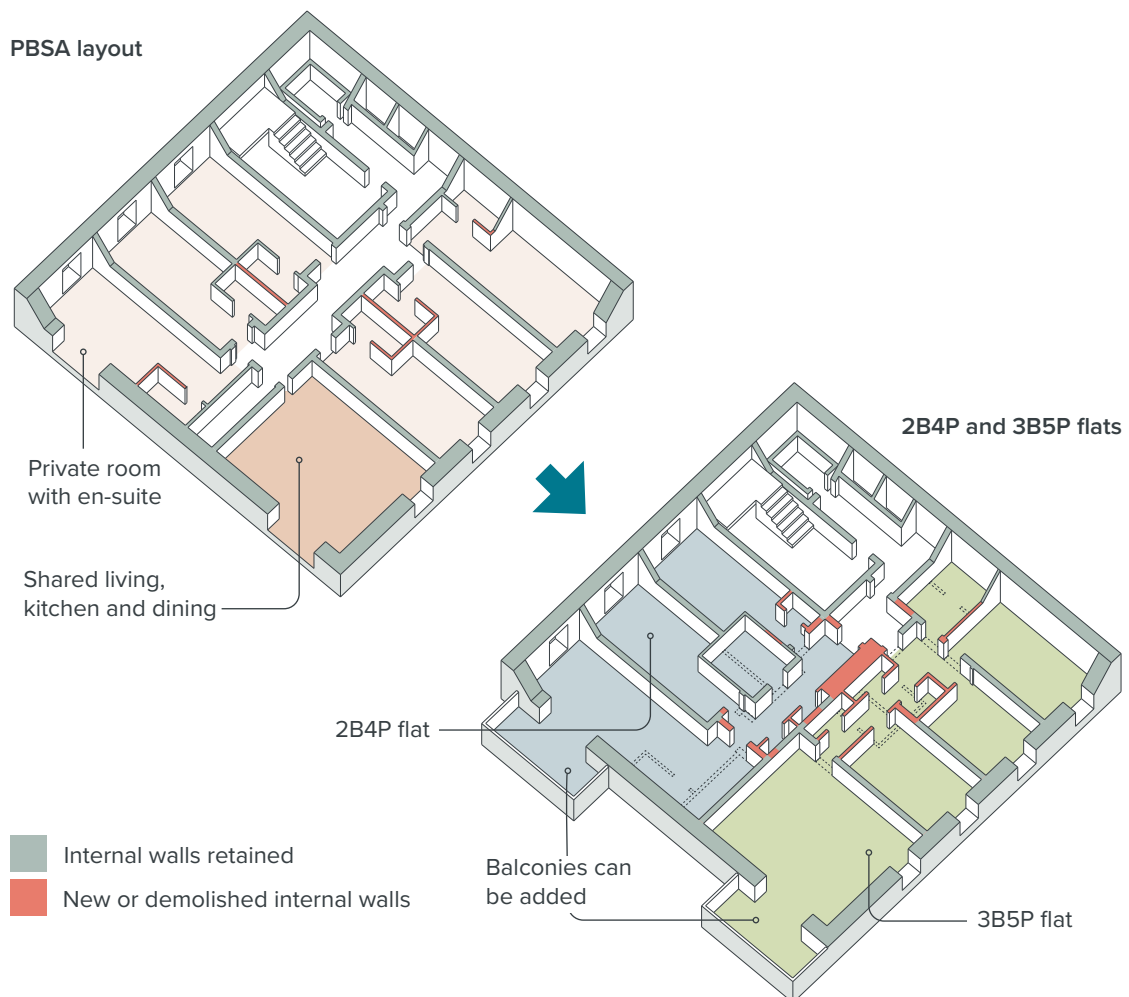
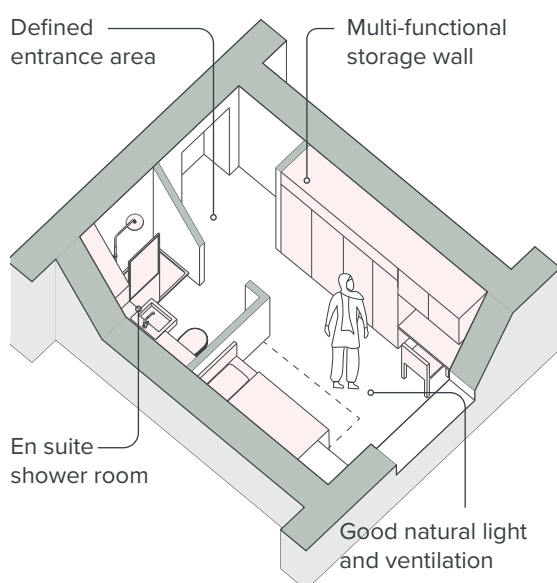


Diagram showing how PBSA can be planned to convert to mainstream housing with minimal structural changes. Services are retained and balconies can be added to existing window locations

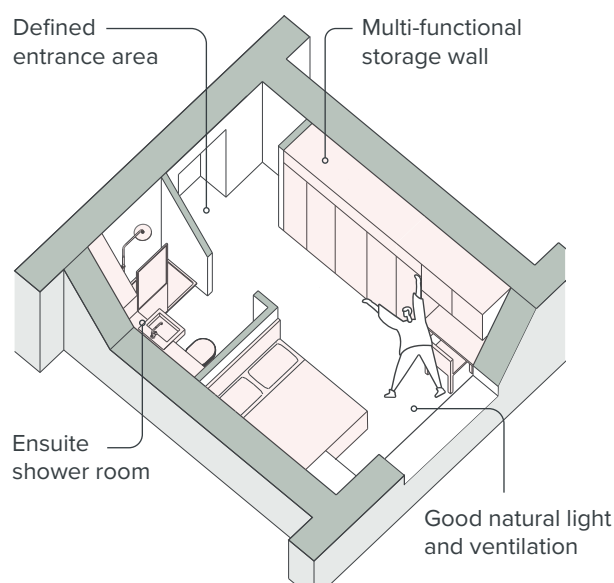
## Additional guidance for HMO:



39. HMO rooms **must** act as a bedroom only with all living activities taking place communally. Any HMO that includes individual cooking areas within rooms will be considered co-living.
40. HMOs can provide rooms for single or double occupancy. A HMO single room (for 1 person) **must** be at least 9.5m<sup>2</sup> and show as a minimum:
- Single bed (but indicate space for a double)
  - Desk/dressing table with chair (1050 x 500mm)
  - Wardrobe (1200 x 600mm)
  - Chest of drawers (450 x 750mm)
  - 1m<sup>2</sup> storage
- Rooms **must** be at least 2.15m wide at the narrowest point.
41. A HMO double room (for 2 people) **must** be a minimum of 13m<sup>2</sup> and show as a minimum:
- Double bed
  - Desk/dressing table with chair (1050 x 500)
  - Wardrobe (1200x600)
  - Chest of drawers (450 x 750mm)
  - 1.5m<sup>2</sup> storage
- Rooms **must** be at least 2.55m wide at the narrowest point.



Indicative HMO single room layout



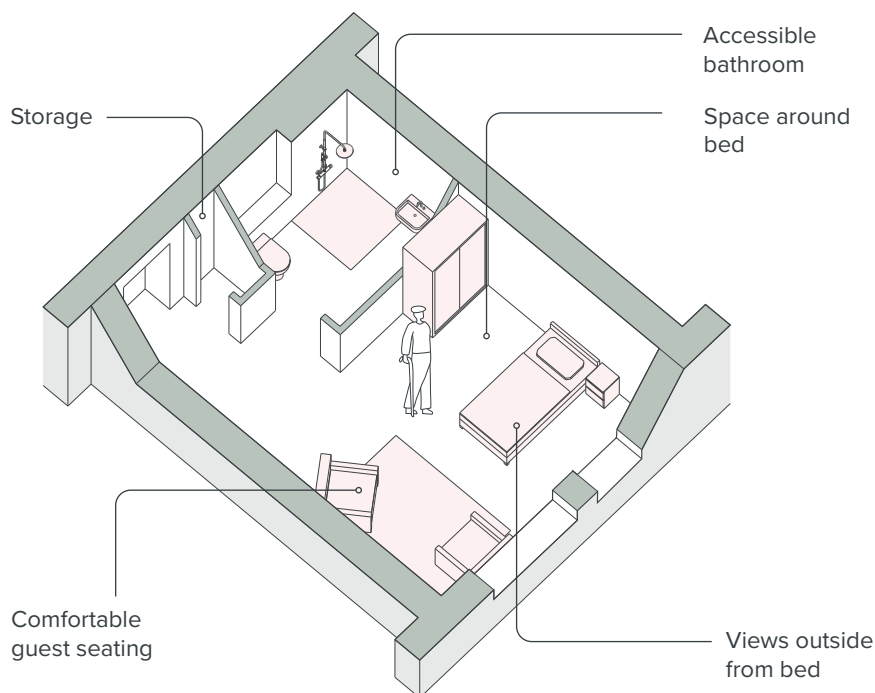
Indicative HMO double room layout

42. En-suite facilities **should** be provided where possible, and the space **must** be in addition to the areas in 4.1.41 and 4.1.42.

### Additional guidance for care homes:



43. Care homes **should** be designed by specialist providers who will create an individual brief, but LCC wish to ensure a minimum level of quality to ensure long-term viability of the development.
44. A care room **must** be at least 13m<sup>2</sup> and show as a minimum:
- Single bed with access to both sides
  - Bedside cabinet (400 x 400mm)
  - Wardrobe (1200 x 600mm)
  - 0.5m<sup>2</sup> Storage
  - Armchair with access to both sides
  - Space for guest chair
  - Potential for hoist between bedroom and bathroom



Indicative care home room layout

45. All care rooms **must** be suitable for wheelchair users.
46. Rooms **must** have an accessible en-suite bathroom / shower room in addition to the area in 4.1.45.

## 4.2 Entrance and circulation spaces

### Guidance for mainstream housing and later living:



1. All homes **should** have a defined entrance area and, in most cases, homes with three or more bedrooms **should** have a lobbied entrance as part of the circulation space.
2. Natural light is highly desirable in circulation spaces and **should** be designed in where possible via clerestory windows, side lights and rooflights.
3. Stair configuration **should** be driven by design, but a straight flight of stairs is preferable for future stair lift provision. Winders are less easy to use, so **should not** be proposed.

### Additional guidance for later living:

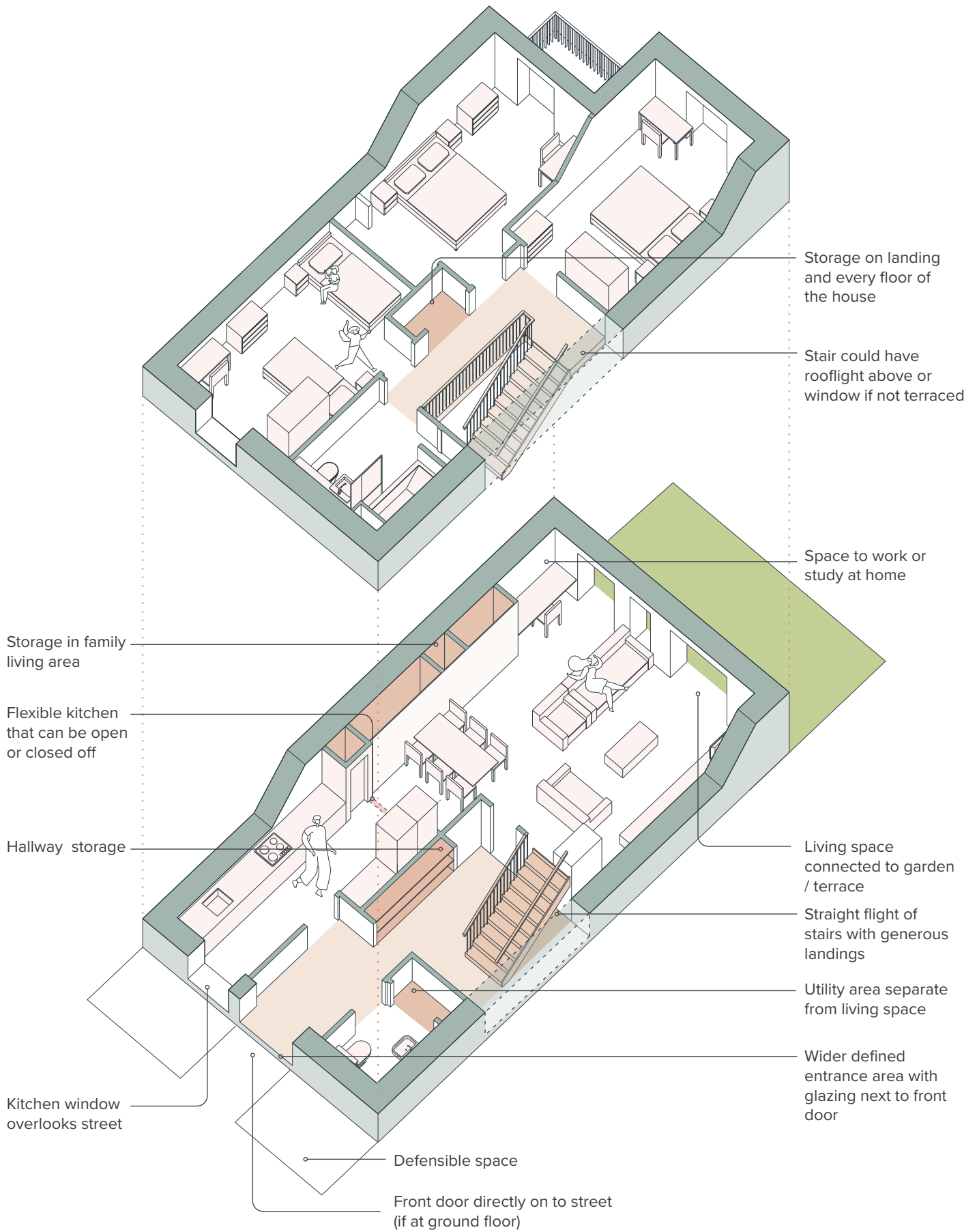


4. An entrance of at least 1500 x 1800mm wide **should** be designed into all later living schemes. This enables space for a chair to put on shoes, or space to store a walking aid.

### Guidance for homes with shared facilities:



5. Private rooms may be too small to have separated entrance areas, however the design and layout of the room and door **should** ensure the bed is not visible when the front door is open.



Example of 3 bedroom family house or maisonette within larger building

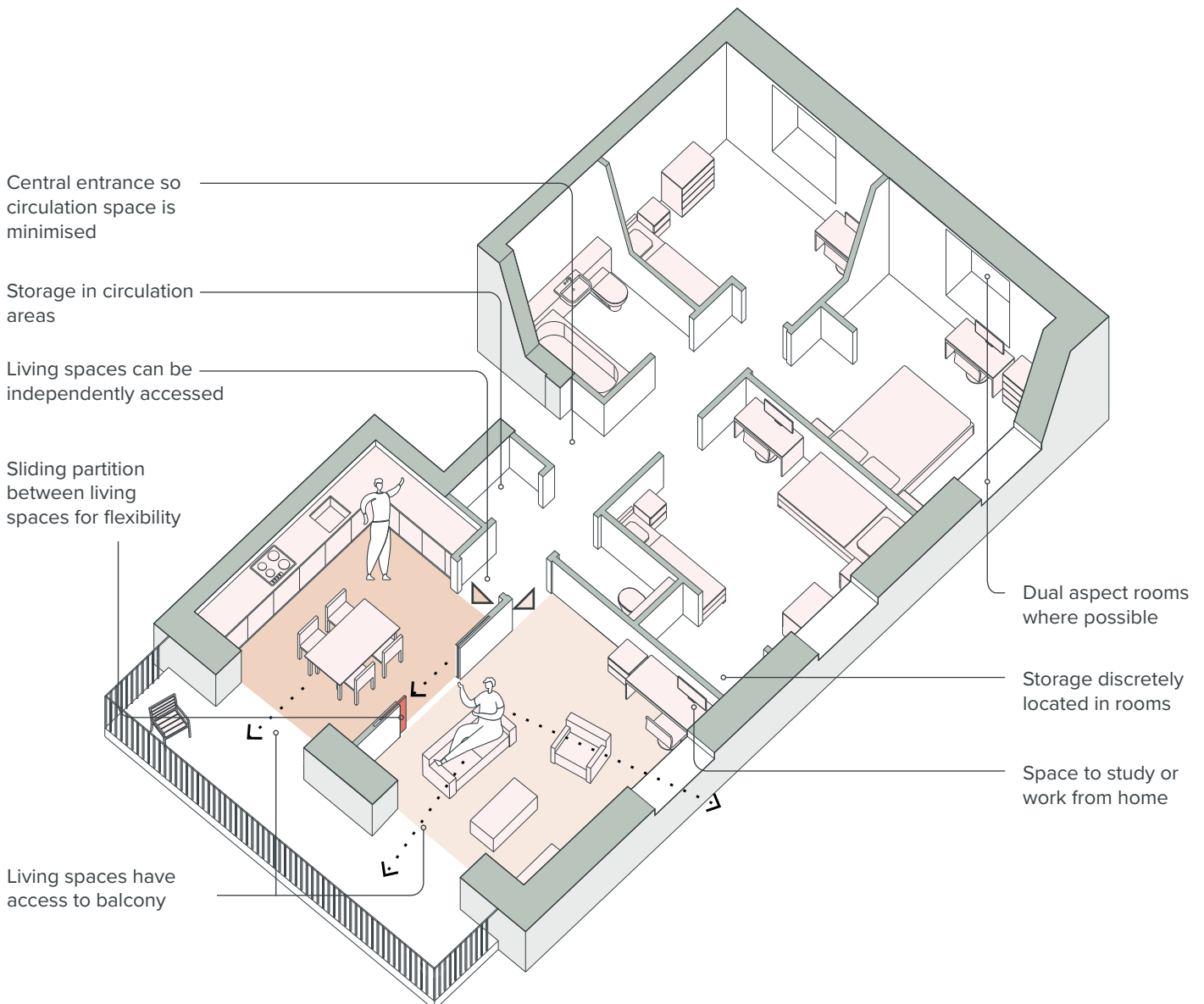
## 4.3 Kitchen, living and dining rooms

Guidance for mainstream housing and later living:



- The combined kitchen, living and dining areas **must** be a minimum of 23m<sup>2</sup> for up to 2 people (1B2P), increasing by 2m<sup>2</sup> for every additional occupant.

No. of people	Combined area of KLD	No. of people	Combined area of KLD
up to 2	23 m <sup>2</sup>	6	31 m <sup>2</sup>
3	25 m <sup>2</sup>	7	33 m <sup>2</sup>
4	27 m <sup>2</sup>	8	35 m <sup>2</sup>
5	29 m <sup>2</sup>	+1	+2 m <sup>2</sup>



3 bedroom flat with options to separate or combine kitchen / dining and living areas

2. Most homes up to two bedrooms **should** have an open plan kitchen, living and dining space, but some cellular plans are welcomed to provide variety.
3. Homes **should** ensure living and dining areas receive the best natural light.
4. Homes with three or more bedrooms **should** have two separate living spaces, with the kitchen separated from the living space. Where this is not possible, options for dividing up the space **should** be shown on the plans, ensuring both areas receive adequate daylight. This **should** be demonstrated in the planning application.
5. Where they are separate, kitchen and dining spaces **should** be adjacent to each other, with adjoining doors and the kitchen **must** be on the same floor as the dining room.
6. In an open plan living arrangement, the spaces for different functions **should** be zoned. Linear kitchens, for example, are difficult to use and undesirable, particularly in larger homes.
7. Kitchen lengths **must** meet those set out in Appendix B.



Open plan kitchen and dining area with kitchen zoned and discretely located

#### Additional guidance for later living:



8. In most later living developments, the living, kitchen and dining room **should** be combined for practicality. The developer **should** check with the residents or their representative ahead of the planning application.

## 4.4 Bedrooms

Guidance for mainstream housing and later living:



1. Bedroom floor areas and widths **must** meet NDSS criteria. Any portion of the room narrower than NDSS widths **should not** count towards the total area.
2. In flatted developments, noise transfer is a significant issue for residents. Bedrooms **should not** be located adjacent to, or directly over or under:
  - Primary communal entrances
  - Lift shafts
  - Communal bike and refuse stores
3. The furniture layouts **must** ensure that no bed nor furniture item is located under a window as this may enable someone to climb and fall.
4. Single bedrooms **should not** be on the ground floor of 2+ storey homes to avoid young children sleeping on the floor lower than their parents.
5. 1B1P homes **must** ensure there is natural light in the sleeping area of the home.
6. All bedrooms must be of sufficient size to accommodate space for a desk and chair, whilst maintaining the minimum required clear access zones.



Well proportioned bedroom in converted building with good daylight



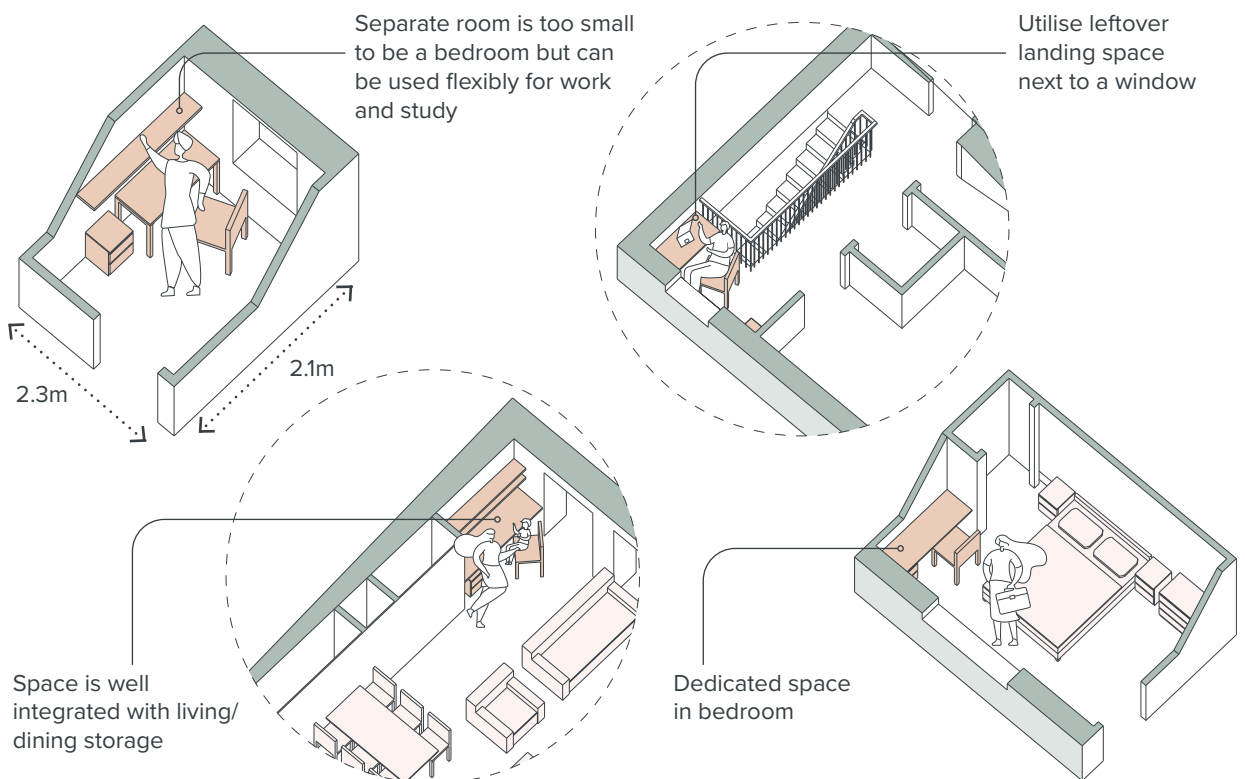
“ My favourite room is my bedroom because I like chilling in a calm and peaceful place where I can still talk to my family. ”

## 4.5 Space for hobbies, work and study

Guidance for mainstream housing and later living:



1. 63% of adults who responded to the Housing Design Guide questionnaire currently spend time working or studying from home, so all new homes **must** make provision for this. Space to study or work from home does not need to be a separate room, it can be part of any other space, so long as the following criteria can be met:
  - 1050 x 500mm desk
  - Desk chair
  - 450 x 450mm storage
  - Natural light and ventilation
  - Adequate power and internet cabling
2. For homes with three or more bedrooms, consideration **should** be given to providing a dedicated study space, to meet the above criteria. Any separate study room **must** be smaller than 4.64m<sup>2</sup>, to ensure it cannot be considered a bedroom.\*



Examples of dedicated work or study spaces around the home

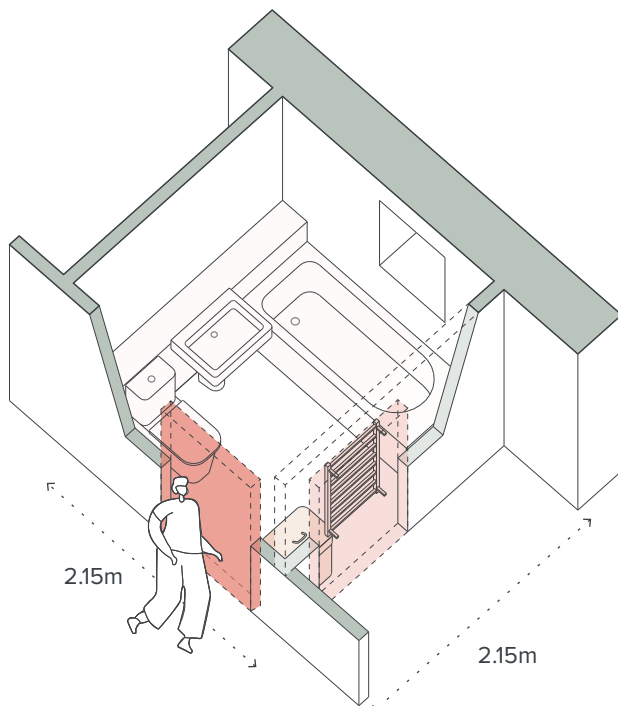
\* Taken from the HMO Regulations (2018) relating to the Housing Act 1985 which states 4.64 m<sup>2</sup> as the minimum room size for a child under the age of 10. .

## 4.6 Bathrooms and WCs

Guidance for mainstream housing and later living:



1. There **must** be a separate WC in all homes with three bedrooms.
2. There **must** be a separate bathroom or shower room with WC in all homes with four or more bedrooms. This could be independent or en-suite.
3. Bathrooms and WCs (except for en-suites) **should** be accessed from the circulation space rather than another room. Where accessed from another room, it **should** be lobbied.
4. It is desirable that bathrooms and WCs have a window, although not at the expense of quality of the living spaces. For privacy and ease of access, this window **should not** be over the bath and the glazing **should** be obscured.
5. Bathrooms **should** be designed with sufficient wall space for hanging towels and floor space for a laundry bin, without affecting the use of the bathroom appliances.



AD-M4(2) compatible bathroom with optional door locations. This could be podded, made offsite and consistent across homes in a larger scheme

### Additional guidance for later living:



6. Where possible, developers **should** consult with future residents or their agents to understand preferences or specific needs.
7. For all AD-M4(2) homes, the bathroom **should** be designed to the additional AD-M4(3) standards, or other accessible standards for C2 homes.
8. The bathroom **must** be close to the principal bedroom and a sliding pocket door is a favourable detail.

### Guidance for homes with shared facilities:



9. For privacy, hygiene and practicality, all private rooms **should** have en-suite washing facilities and for co-living and PBSA, they **must** be provided. The en-suite **must** include:
  - Toilet
  - Sink
  - Shower (wet rooms **should** be avoided)
  - Space to dry a towel

*For conversions and on challenging sites, it may not be possible to provide all rooms with en-suite facilities.*
10. For HMOs where private washing facilities are not possible, up to five people can share a single toilet, basin and bath / shower. The toilet and basin **should** be separate from the shower / bath for practicality.
11. All communal toilets and showers **must** be accessed from communal areas.
12. Rooms designed for wheelchair users **should** have private bathrooms that meet AD-M4(3) requirements.
13. Shared toilets, shower rooms and bathrooms **must** be well ventilated and **should** have an opening window.

### Additional guidance for care homes:



14. The accessible shower room must meet M4(3) layout - or the providers more specialist requirements.

## 4.7 Services, utility and storage

### Guidance for mainstream housing and later living:



1. New homes **should** be fossil-fuel free, and therefore not connected to the gas grid.
2. Low carbon heating systems **should** be chosen to maximise efficiency and minimise energy bills.
3. Any requirement to connect to a district heating network **must** be evaluated and, if required, communal pipework **should** be routed efficiently, in line with the most recent CIBSE Heat Networks Code of Practice (CP1).
4. Ultra-low energy homes (<20 kWh/m<sup>2</sup> GIA/yr space heat demand), **should** not be required to connect to a district heating system, where it can be demonstrated that
  - The losses from the network outweigh the heat demand of the home,
  - The energy bills (including standing charges) are less affordable for residents than an alternative low carbon system;
  - Or the pipework distribution contributes to the risk of overheating.In these cases ultra-low energy homes **should** have a low carbon and energy efficient heating system installed.
5. Where MVHR is to be installed, it **should**:
  - Not preclude the installation of openable windows for purge ventilation
  - Be located within 2m of an external wall to avoid heat loss through duct work
6. Layouts **must** consider that equipment may need to be serviced and maintained by professionals entering the home (i.e. changing an MVHR filter), so they **should** be placed as close as possible to the front door or be independently accessible.
7. Individual home controls **should** be easy to reach and simple to operate.
8. The services cupboard **should not** be in a bedroom or living areas where noise is most disruptive.
9. Where required, a utility / services cupboard showing layout of equipment **should** be provided as part of typical layouts in the planning application.
10. Washing machines and tumble dryers **should** be in a services cupboard or utility room, or possibly a bathroom or WC. They **must not** be in a bedroom or living room. Where possible they **should** also be avoided in a combined living, kitchen, dining rooms as this is the only living area in the homes and the noise could be disruptive.

11. Utility rooms **should** be considered for homes with four or more bedrooms and **should** house the washing machine and heating and ventilation services, as well as an additional sink. A minimum 1200mm wide clear access zone **should** be provided in front of all units and appliances in respect of M4(2) . Direct access to outside **should** be considered in ground floor apartments and houses.
12. Storage **must** be provided in line with NDSS as a minimum, which allows for up to 0.5m<sup>2</sup> for utilities / services. Where MEP equipment takes up more than 0.5m<sup>2</sup>, it **must** not further compromise the storage area.
13. Storage cupboards (not including built-in wardrobes) in bedrooms / living rooms that contribute to NDSS storage requirement **must** be discounted from the overall room area and width.
14. Over-provision of built in storage **should** be considered and is encouraged.
15. At least 50% of the storage **should** be accessed from circulation space, or in a utility room to provide flexibility.
16. Maisonettes and houses **should** utilise under-stair storage in line with NDSS.
17. There **should** be a minimum of two cupboards in any home, particularly homes with 2+ bedrooms. This is to reflect the different types of items people need to store.
18. There **should** be storage on every floor of the home.
19. There **should** be a cupboard next to the front door for coats and shoes.
20. Storage **must** be a minimum of 400mm deep. Usable cupboards are usually wider than they are deep.

#### Additional guidance for later living:



21. Where possible, it **should** be possible to isolate control of services from outside the home, meaning unfamiliar workers do not need to enter their home.

#### Guidance for homes with shared facilities:



22. Storage requirements are included within the areas for homes with shared facilities (see 4.1), although additional, rentable storage spaces **should** be considered (see 3.5.30).
23. Shared clothes washing facilities **should** be separate from the shared living space and **must not** be adjacent to a private room for noise transfer (see 3.5.25 - 3.5.26).

## 4.8 Front gardens

Guidance for mainstream housing and later living:



1. Front gardens offer an opportunity to improve the street setting and add character to the development as well as provide privacy to homes. Front gardens **should** include an area of planting to encourage wildlife and biodiversity.  
*For conversions, infill developments and in conservation areas in particular, the context may dictate the building line and influence design choices. Priorities **should** be discussed with the LPA ahead of the planning application.*
2. Front gardens are unlikely to be the only private amenity for the home. Where they are, they **must** comply with the guidance in 4.10.
3. Where there is space, secure cycle storage **must** be provided in a front garden unless there is independent rear garden access. The storage **should** be covered and well integrated into the design.
4. Where required, meter boxes **must** be integrated into the design, discretely located and covered. They **must** be non-combustible and sized appropriately.



Houses with integrated bin storage, planting and car parking

5. Private bins kept in the front garden **must** be in a dedicated store and integrated into the design.  
*For conversions and in sensitive historic areas, an alternative refuse strategy may need to be considered where stores are not possible. The refuse strategy must support the planning application and should be discussed with the LPA ahead of submission. (See 3.9)*
6. A covered space to park and charge a mobility scooter **should** be a consideration for AD-M4(3) homes with a private ground floor entrance and front garden.
7. For all front garden storage, bespoke designs and green roofs **should** be considered, with details provided as part of the planning application.
8. Driveways may be proposed for lower density housing schemes, where large front gardens suit the context and where there is adequate space. A minimum of 30% soft landscape **should** be maintained and the car **should not** be parked within 1.5m of a habitable room window (see 3.7).
9. Front wall boundary height and materials **must** respond to urban design principles.
10. Boundaries on to the public realm **must** create an appropriate degree of enclosure, which helps with privacy, security and accessibility (i.e. creating a shore line for people using a walking cane). They **should** be robust and encourage neighbourliness. Timber is not durable enough and **must** be avoided.  
*For conversions, infill developments and in conservation areas, boundary walls design must follow the predominant pattern of the area as it will be critical to integrating the scheme.*

#### Additional guidance for later living:



11. Space to park and charge a mobility scooter **should** be proposed for all later living schemes with a private ground floor entrance.
12. Homes accessed from a shared space may not require a front garden, but **should** provide some privacy but **must** ensure a good visual connection from the home into the communal area.
13. Where planting is proposed, raised beds **should** be considered.

## Guidance for mainstream housing and later living:



1. Private outdoor amenity space contributes to a sense of space and openness, which is important for wellbeing and it is strongly encouraged in every development. Developments **must** provide either private or communal external amenity (or a combination) as set out in the Local Plan. This **should** be proportionate to the size and type of home.
2. Generally, bungalows **should** have a private rear garden that is at least 10m deep and houses with 2 or more storeys **should** have a rear garden of 11.5m deep to ensure adequate back-to-back distances and allow areas of sun and shade (see 2.1.23).
3. Ground floor flats and maisonettes **should** have direct access to private outdoor space. Prioritise larger, family homes at ground floor to give family homes more private amenity space.
4. Gardens **should** be accessed from the living room, kitchen or dining area although additional access from another room is welcomed. Every room with access **must** have an openable window as well as the external door.
5. Additional side or rear access to private gardens **should** be provided where it is possible to do so.
6. Means of enclosure between the public realm and private gardens **should** normally consist of a 1.8m high wall. This **must** be a robust material, entirely timber fences **must not** be proposed.
7. Where rear gardens back on to shared amenity space, they **must** be designed to foster neighbourliness as well as privacy for the homes. There **should** be access between the two and consider careful boundary treatment, including planting.
8. Purpose-built garden pods or storage **should** be provided to private gardens where they back on to shared spaces and are overlooked by numerous homes. These gardens may require more secure storage than traditional gardens and the consistency improves the outlook for those who use and look down on the courtyard.
9. Wildlife and biodiversity features **must** be considered, especially in more urban environments. Designs for private gardens **should** integrate features such as insect nesting, bat boxes and hedgehog holes.
10. Existing trees **must** be maintained where possible and will provide an attractive feature in rear gardens. Designs **should** ensure their size and canopy do not adversely affect internal or external amenity or daylight.

### Additional guidance for later living:



11. In dedicated developments for older people, smaller rear gardens **should** be provided in addition to shared communal space.
12. Where a private rear garden backs on to a shared amenity space, access between the two **should** be provided.
13. Gravel and other loose surface finishes **must not** be proposed as they are not accessible with walking aids or wheelchairs.



Independent living scheme where first floor balconies provide shelter and shade to the private amenity for homes below and private gardens have direct access to communal garden

## 4.10 Balconies and terraces

### Guidance for mainstream housing and later living:

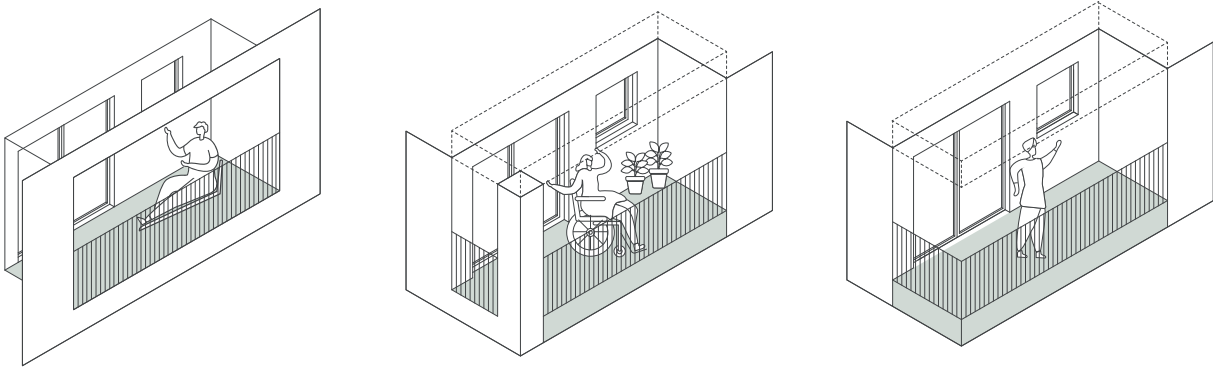


1. In flatted developments where land is at a premium and private gardens cannot be provided, private balconies and terraces are a valuable alternative and **should** be proposed. To be usable by the household, the minimum area **must** achieve 5m<sup>2</sup> for one or two people, with an additional 1m<sup>2</sup> per person, as shown in the table:

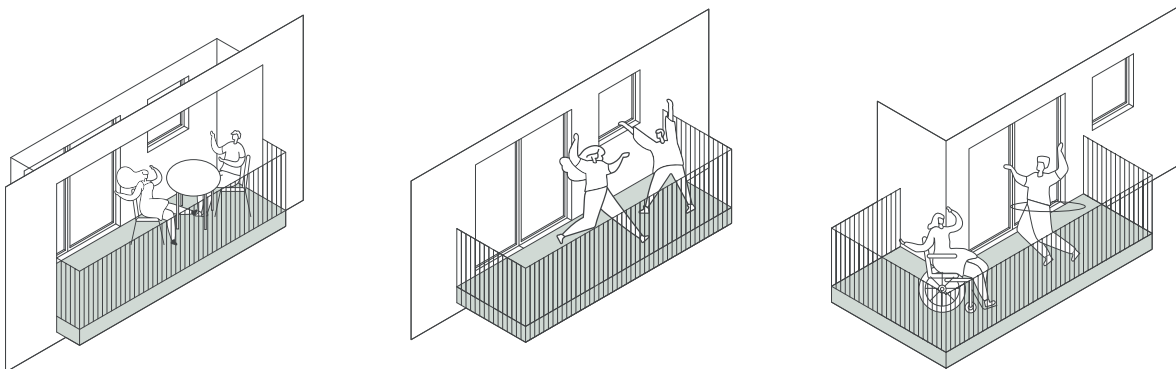
No. of people	Balcony / terrace area (minimum)
1 or 2	5 m <sup>2</sup>
3	6 m <sup>2</sup>
4	7 m <sup>2</sup>
5	8 m <sup>2</sup>
+1	+1 m <sup>2</sup>

2. The outdoor amenity strategy for private and communal spaces **must** be established early on as it will affect building footprints, internal layouts and building efficiency. The strategy **should** respond to context and orientation.
3. Dual aspect homes **should** explore the potential of having more than one balcony on different sides of the building to maximise use throughout the day. The total balcony area **must** meet the minimum size in the table above, and every measurable space **must** comply with the requirements.
4. Balconies **should** be orientated towards open views or greenery, but they should also be well oriented for the sun. Balconies facing directly north will not receive adequate sunlight and **should** be avoided.
5. Balconies **must** be large and deep enough for residents to make effective use of them, with a clear depth of 1.5m deep in one usable length, measured from the façade line.
6. The style and form of balconies **should** be contextual in the street setting and overlooking to surrounding homes **must** be considered.
7. Balconies **must** be designed with comfort and usability in mind. This means they **should** feel private and an area of translucent or opaque balustrade may be considered.
8. It is not desirable to have a home's only private outdoor space directly adjacent to the public realm (i.e. a ground floor flat with terrace on to the street). Where this is unavoidable, it **should** be at least 2m deep and include a planted buffer.
9. Ground and first floor amenity space **should** have an imperforate balustrade up to 1100mm for increased privacy.

10. Balconies should afford residents some privacy so screening **should** be considered, particularly in high-density schemes.
11. The underside of balcony decks are visible from ground level. They **should** be solid, attractive, and detailed to avoid the possibility of nesting birds.
12. Balconies **must** be positively drained. For cantilevered balconies, downpipes **should** generally be grouped, unless the design allows for them to be concealed elsewhere.
13. Any home that cannot have access to its own private amenity space, where appropriate **should** have a Juliet balcony to bring sufficient purge airflow into the home.
14. Where winter gardens are proposed to mitigate against noise or pollution, they **must** be single glazed with space between panels, to avoid it being used as an internal room. The glazing **must** be retractable so it can be used as an 'open' balcony.
15. Cantilevered balconies can add variety to a façade and deliver bright, open amenity space for residents. However, on upper floors or where wind speeds are higher, external balconies can feel exposed and unsafe. Designs **must** consider the usability of balconies and inset balconies or winter gardens **should** be considered in exposed areas. A wind analysis may be required to support any decision.



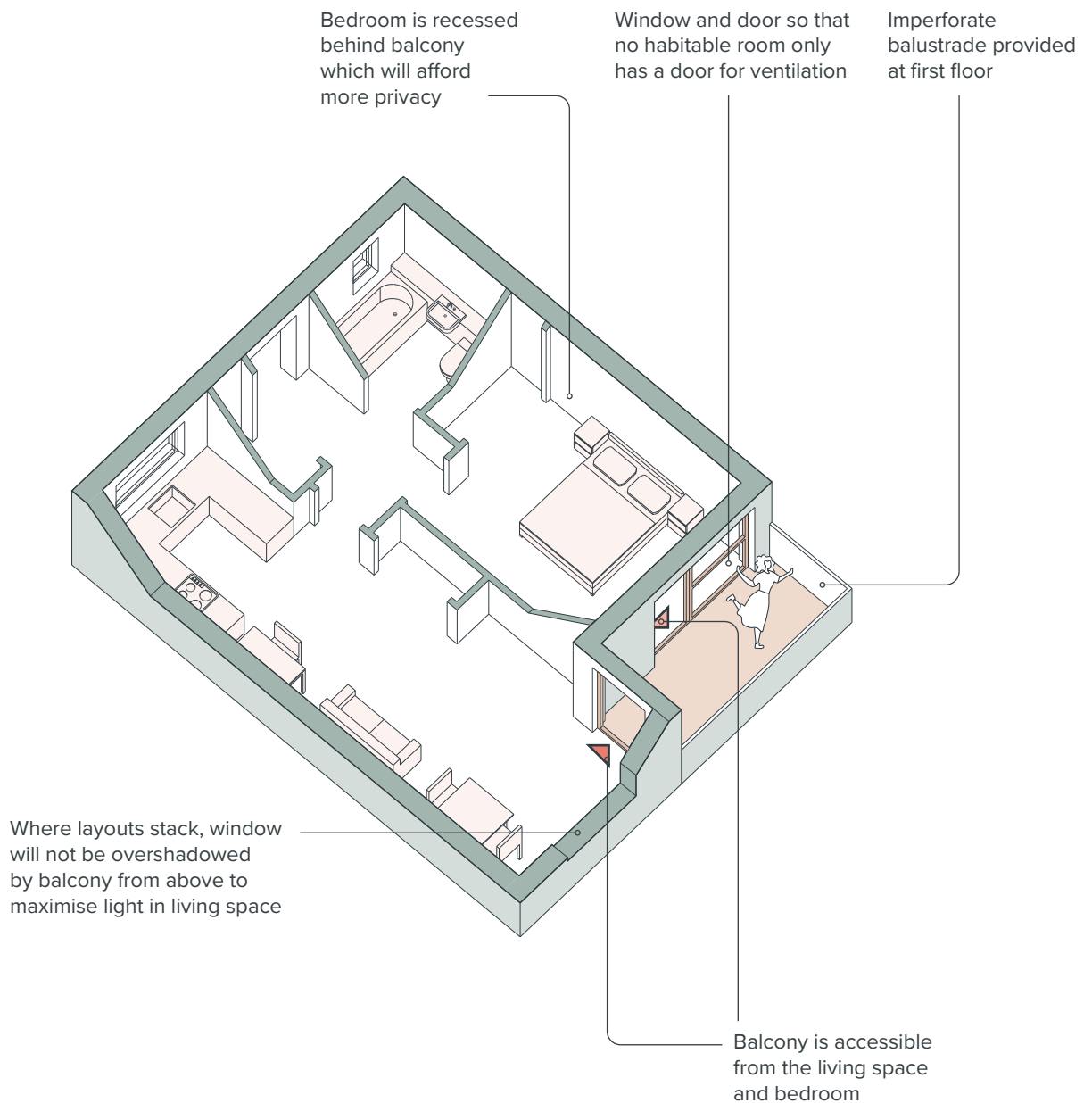
Recessed balconies where more privacy or shelter is needed



Cantilevered balconies will maximise daylight and views

## 4.10 Balconies and terraces

16. Balconies and terraces **must** be accessed from the kitchen, dining or living area to be most practical, although additional access from another room is welcomed. Every room with access **must** have an openable window as well as the door.



Example showing a 1 bedroom flat with balcony access from the bedroom and living area

Additional guidance for later living:



17. As best practice, balconies **should** be a minimum of 1.8m deep for improved accessibility.
18. Winter gardens **should** be considered, especially in more exposed locations.



Winter gardens provide sheltered and secure amenity space for older residents





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# Chapter 5: Guidance for homeowners

Residents of Liverpool have a deep responsibility to our neighbours and the wider community to look after our homes and behave respectfully to other residents and visitors alike. This attitude extends to homeowners who need to ensure that homes and private amenity spaces contribute positively to the local area. Any alterations or extensions must respond respectfully to their context, avoid overlooking and overshadowing and are ‘neighbourly’ in their design.

Beautifully detailed, contemporary additions which are appropriate in scale and massing, and sit comfortably in their context are supported by the Guide, giving new life and flexibility to existing housing. Similarly, extensions which draw upon local materials and are more subtle in their architectural approach are also encouraged – as long as both create housing of real integrity and design quality, which also enhances the local setting and is respectful of neighbours.



## 5.1 General principles

1. Renovating or altering an existing home gives an opportunity to extend the life of the building and create an environment that brings joy, improves comfort and is more suited to modern living. These projects are often, at most, once in a generation so applicants **should** think carefully about the spaces they are creating and the long-term impact of the proposal on future residents, neighbours and the wider street.
2. The design and massing **must** consider the style, character and proportions of the host building, neighbouring buildings and the wider area and not detract from the character of the street.
3. Generally, extensions **should not** be visible from the public realm to help ensure the original character of the area is to be maintained.
4. Where possible, renovation work **should** restore existing design features of the original building.
5. In most cases, extensions **should** be subordinate to the scale of the host building to ensure the integrity and significance of the original building is maintained.
6. Applicants **should** research Liverpool building types, materials, styles and architectural details and reinstate these where suitable.
7. Extensions and alterations **should** complement and harmonise with the style of the host building and the LPA welcomes modern, innovative and creative architectural design solutions where they can demonstrate exceptional quality.
8. Applicants **should** consider employing a professional design team to help ensure a high quality outcome.



Extension using traditional materials in keeping with surrounding homes in a modern style

9. Developments **must** consider the impact of overlooking into other homes and gardens from windows, doors and balconies. Potential for unacceptable overlooking will depend on the proximity of windows to neighbours' habitable rooms and gardens, the angle of view and the arrangement of buildings and gardens. Unacceptable overlooking **must** also be considered to other relevant building types too, for example, schools.
10. The design and massing of extensions **must not** overshadow or have an overbearing effect on neighbouring properties' daylight and sunlight to an unacceptable degree (see 5.3)
11. Habitable rooms, including kitchens, **must** have a window or glazed door. Rooflights and obscured windows **must not** count as the only glazing because they do not offer adequate views out.
12. Windows feel better when window cills are reasonably low (maximum 900mm) but each habitable room **must** have at least one window with a cill at no higher than 1200mm above floor level to allow views.
13. Light pollution to neighbouring homes and surrounding landscape / gardens **should** be considered for wildlife and in the interests of neighbourliness.
14. Any proposed development **must not** compromise rooms in the host house and habitable rooms, including kitchens **must** continue to receive adequate daylight and ventilation.
15. Fixed external shading may be proposed to prevent overlooking, but obscured glazing is not considered sufficient so **must not** be proposed for this purpose.
16. When proposing plant equipment, such as PV panels or an air source heat pump, they **should** be sensitively designed and acoustically enclosed, so they do not become a nuisance.
17. LCC defer to permitted development rights regarding air conditioning units, however homeowners **should** ensure they carefully follow the rules, which may preclude installation in conservation areas. Façade details **should** adequately demonstrate that careful attention has been given to ensure water run-off will avoid unattractive staining.
18. Proposals **should** ensure that access, and the operation of existing utility infrastructure is not adversely affected as a result of any proposed extension and consult with the relevant utility undertaker / building control body to confirm the implications of, and requirements for, building / working near utility assets.

“ The buildings should take on new idea for a new age. ”



## 5.1 General principles

19. Any development **should** minimise its environmental impact by the efficient use of resources including materials, water and energy. Consideration **must** be given to designs and construction techniques that reduce carbon emissions and contribute to low carbon buildings.



Kitchen extension using natural and recycled materials and maximising natural light

20. Extensions **must not** have a significant adverse impact on the quantum and quality of the host building's external amenity space (see 5.3.4).
- When converting a building into a HMO, or extending an existing HMO to accommodate additional residents, it is not acceptable to reduce (or entirely lose) outdoor amenity space below the minimum standards set out in the Local Plan. Where existing external space is already below Local Plan requirements, it **must not** be further compromised. Spaces used for refuse, parking or cycle storage do not count towards external amenity space. Proposals that would significantly erode existing garden space **must** also have regard to Section 5.3 and will not be supported where this would adversely affect the townscape, character, or setting of the host building.*
21. When reconfiguring a home, usability and accessibility of the layout **should** be considered and improved where possible, for example by adding a downstairs WC where there is currently not one.
22. Any proposal that significantly improves the accessibility of a home for an individual with specialist needs will be given special consideration, However anything that contravenes guidance **should** be reversible to its former state.
23. Buildings in conservation areas may be subject to an Article 4 direction which removes certain permitted development rights which **must** inform the design. The introduction has a link to the list of Liverpool's conservation areas.

## 5.2 Front extensions

1. Front extensions are prominent features in the streetscape and are typically not acceptable. Where proposed, their design **must** be carefully considered and justifiable to avoid being visually obtrusive.
2. Front porches **must** relate to the architectural design, materials and scale of the host building, and cannot disrupt the architectural unity of a group of homes along the street.
3. Car ports and integrated garages prevent cars from dominating the streets and they assist in relieving parking pressure along a road, so they **should** be used. Where garages are converted into living accommodation, the design, details and proportions of fenestration **must** be in keeping with the character of the street and the host property.



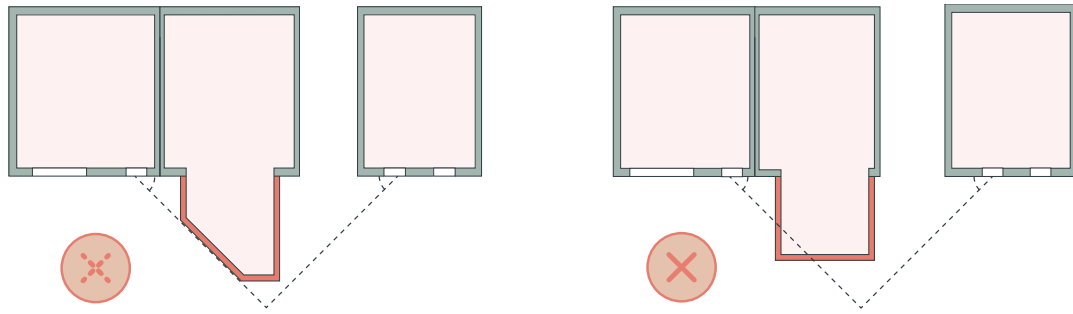
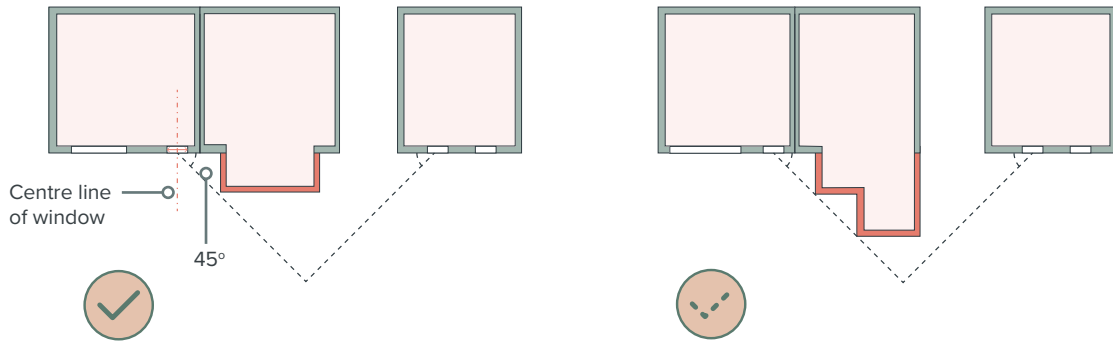
Retained, historic porticoes in Gambia Terrace

## 5.3 Rear extensions

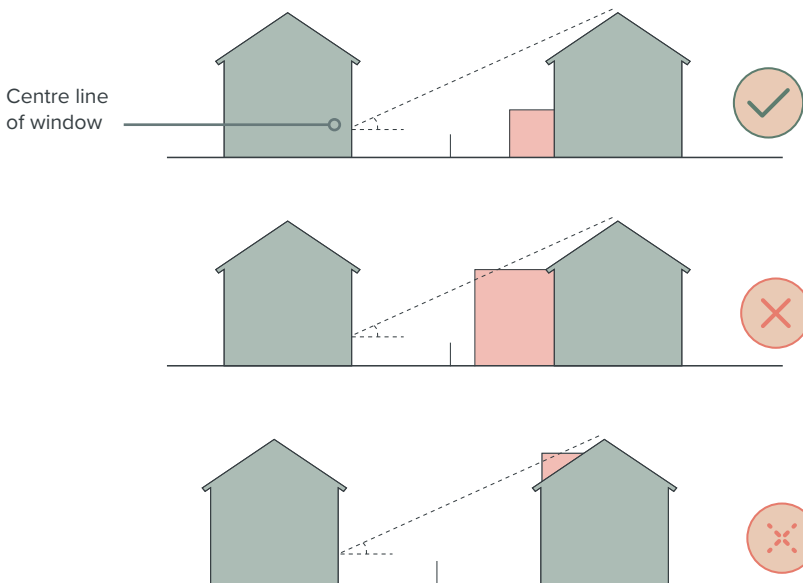
1. Extensions to the rear of a home generally have less impact on the character of the street and the surrounding area. However their composition contributes to the overall townscape and in some cases they can be seen from the public realm. Extensions **should** have a height, depth and width that respects the existing, common pattern and rhythm of rear extensions on neighbouring sites, where they exist. The same guidance for extensions also applies to full glass conservatories.
2. Single storey extensions to terraced houses **should** usually have flat roofs or pitched roofs falling the rear of the boundary to ensure they appear subordinate to the main building and rooflights often bring valuable natural light deep into the plan. However individual design quality and rationale will be reviewed.
3. Two or more storey extensions are likely to have a detrimental effect on the host and neighbouring homes. Where proposed, they **should** be well considered with exceptional internal and external design quality and any impact on the neighbours **should** be thoroughly tested and demonstrated.
4. Rear extensions **should not** reduce any existing external amenity space by more than 50%.
5. The orientation and position of neighbours' windows **should** be considered and LCC adopt a 45° rule meaning there must be no building mass within 45° viewing arc of a neighbouring window or external door. This **should** be reviewed in both plan and elevation, as demonstrated in the diagram.\*
6. The 25° rule **should** also be considered when proposing an extension. Applicants **should** take a 25° angle from the centre of the lowest window in opposite homes. Any massing that cuts this line is likely to be rejected as it will limit light into the home.\*
7. The building massing **should not** be awkward or convoluted to achieve the standards and the measurement is to be taken from the centre line of the window or glazed door.
8. For loft extensions, the 25° rule **should** be applied but other factors are considered, such as the distance of the extension from the neighbour's window, the overall scale and massing of the extension, and any detailed daylight and sunlight assessments provided.

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*\* Compliance with these massing constraints does not automatically infer acceptance of the proposal.*



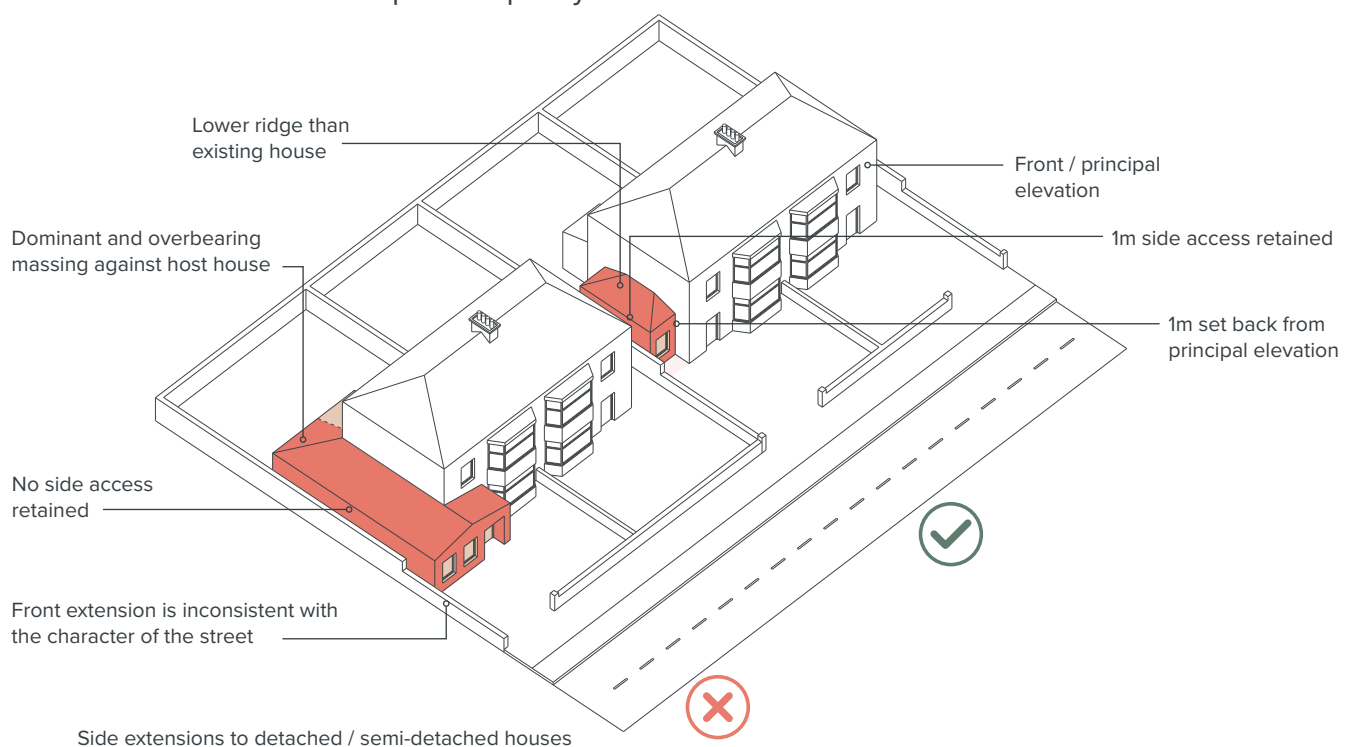
Acceptable and unacceptable massing using a 45° line to the neighbouring window: plans and rear elevations



Acceptable and unacceptable massing using a 25° viewing angle from opposite homes: sections

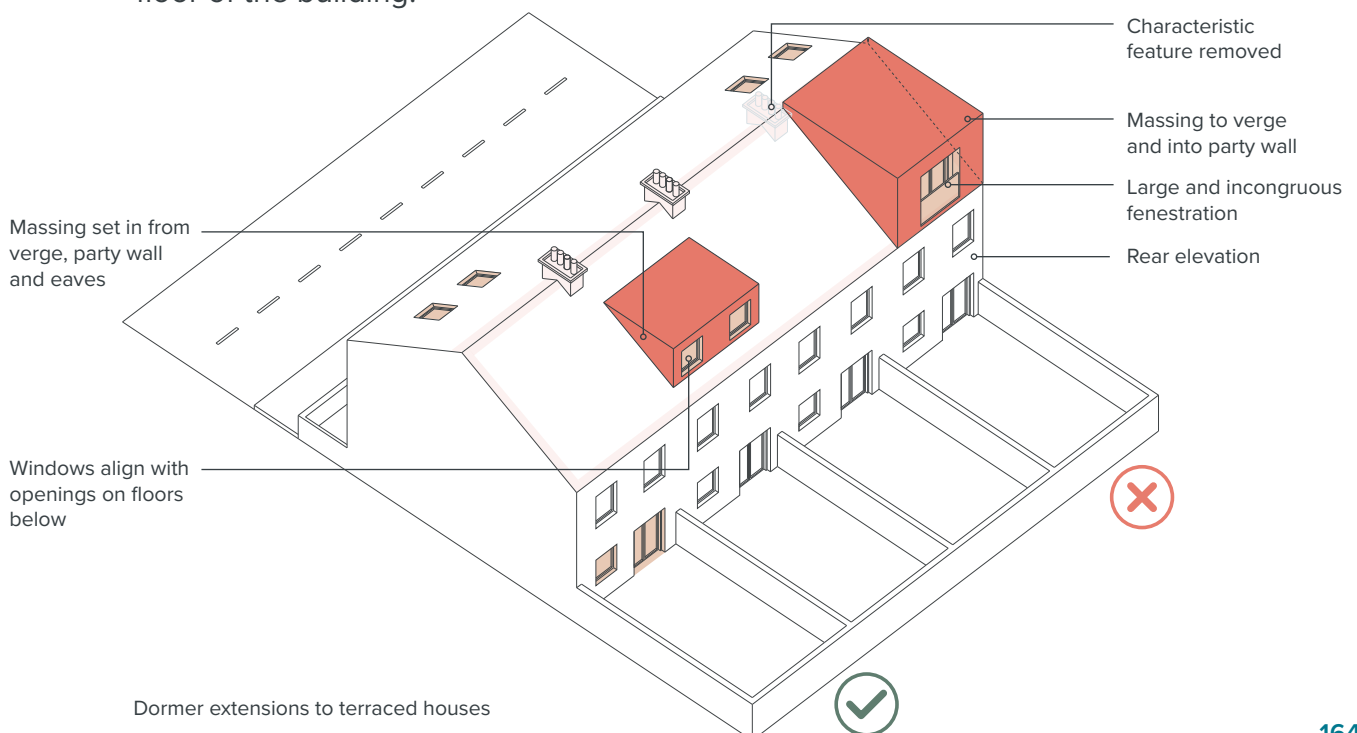
## 5.4 Side extensions

1. The massing and design of side extensions may significantly change the appearance of the building. Where proposed, they **must** reflect or enhance the character of the area, particularly when they are visible from the public highway.
2. Infilling a gap between semi detached or detached homes, or adding a first floor side extensions (e.g. over a garage) is likely to significantly affect the street rhythm. Where proposed, these **should** be set back from the front wall of the original house by a minimum of 1m and have a lower ridge height.
3. The extension **must not** appear to overwhelm the host building and become unacceptably dominant. This is particularly the case when combined with a rear extension.
4. Side extensions **should not** normally exceed half the width of the host house.
5. The roof line and style **should** reflect the host building character and style.
6. Side extensions **should not** reduce any existing external amenity space by more than 50%.
7. Side extensions **should** normally maintain a minimum of 1m distance to the boundary, to allow for access and prevent detached / semi detached homes becoming (or appearing) terraced.
8. The proposal **must not** obscure any existing architectural features that make a positive contribution to the character of the existing building.
9. The ratio of openings to solid wall, and the proportions of doors, windows and other openings in a side extension **should** be similar to that of the original building. Modern designs and creative approaches may be welcomed but **must** be justified through strong design and sustainability rational and demonstration of exceptional quality.



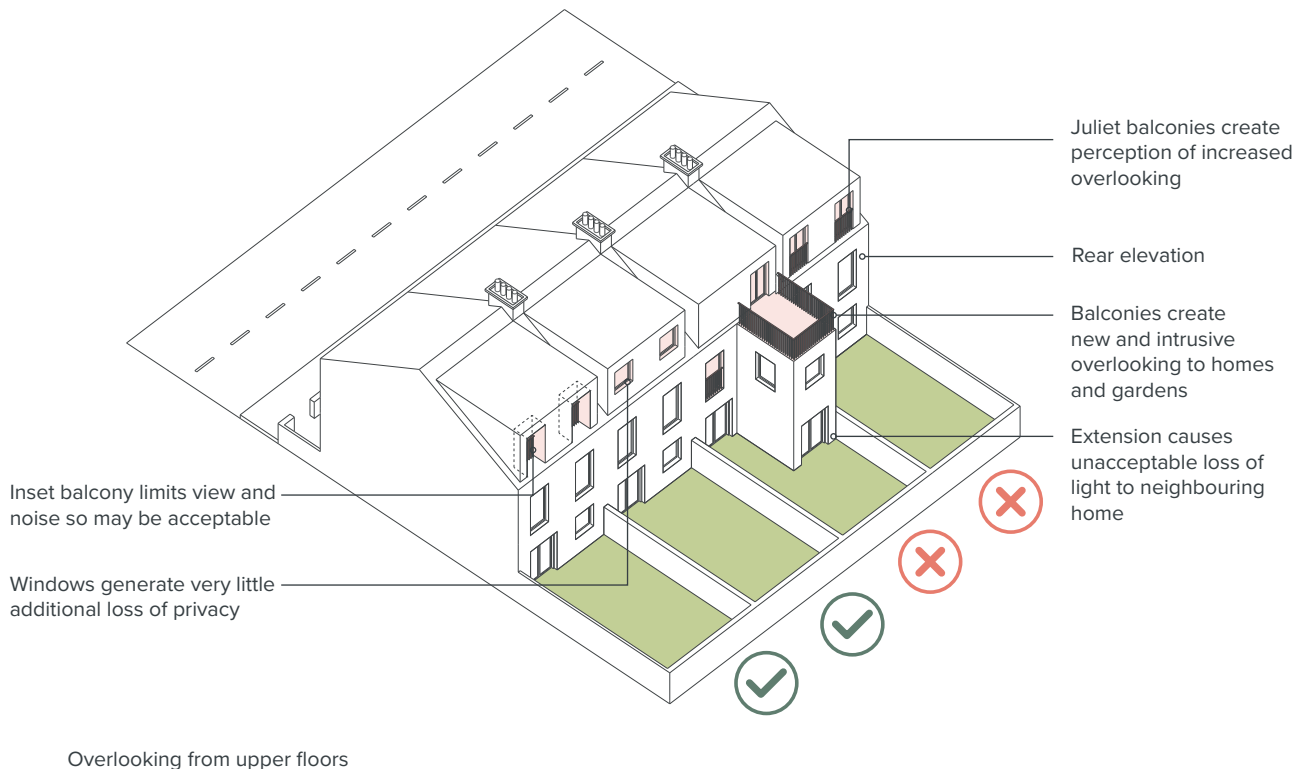
## 5.5 Roof extensions and dormers

1. Extending into a loft can add valuable additional habitable rooms without compromising garden space. However care **must** be taken to ensure these extensions don't appear overbearing or change the character of the area.
2. Any roof extension that is highly visible from the public realm - including end or terrace and corner plots - is unlikely to be acceptable and **should not** be proposed. This does not include rooflights.
3. Front mansard extensions and dormers will not normally be acceptable and **should** normally be restricted to rear elevations.
4. Any extension **must** be proportionate and preserve the characteristic features of the roof, such as chimney stacks and chimney pots.
5. Any proposed dormers **must not** become over-dominant and **should** be inset from the roof verge or party wall line by at least 0.5m.
6. In order to preserve a continuous eaves line roof extensions **should** normally be set back by at least 0.2m from the eaves.
7. The massing **must not** cut through ridge or hip lines.
8. Additional floors in any form **should not** harm the architectural integrity of a building or the unity of a group (i.e. a terrace).
9. Dormers **should** normally be restricted to rear elevations. In exceptional cases where these are considered on the front of the building, they **must not** cover more than 25% of the roof plane.
10. Hip to gable extensions **should not** be proposed as they will likely cause an imbalance in the building form. This is particularly true when they can be seen from the street.
11. Windows **should** line through with lower ground windows and avoid windows which are larger in scale and design to those on the existing first floor of the building.

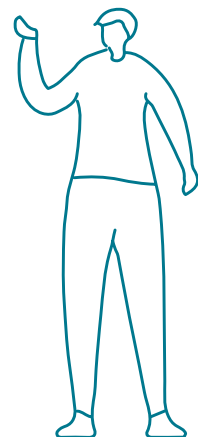


## 5.6 Balconies

1. Balconies, including Juliet balconies, can be desirable, particularly when buildings are divided into flats. However, they are likely to cause significant harm to neighbours' privacy through noise and overlooking and generally **should not** be proposed.
2. New balconies are unlikely to be in keeping with the character of the surrounding homes, so where proposed, they **should** be carefully designed and well justified in the planning application.
3. Inset balconies may be acceptable and **should** only be proposed where there is no overlooking harm to neighbouring homes or gardens.



“ We should not be able to see into our neighbours' homes from ours. ”



## 5.7 Building fabric

1. LCC encourage thoughtful approaches to alterations and extensions. Before making changes to the property, homeowners **should** consider the desired effect and appearance. In general, alterations **should** reinstate original features, or protect or enhance local character. Inappropriate and unsympathetic alterations can spoil the character of a property and damage the overall street scene.
2. Fenestration has a significant impact on the appearance and liveability of a home. Applications **should** detail opening methods, such as sliding sash, outward or inward. They **should** also include frame material and dimensions (profile) including size of glazing bars.
3. The original wall finish is likely to be the most appropriate for any repairs, meaning sensitive restoration may be required. Repairs **should** match the host building's materials and finishes. Matching original materials includes colour, size and finish of materials. With brickwork, it includes mortar colour, grain and texture, bonding and pointing profile.
4. As a general rule, render and painted finishes **should not** be proposed as they require ongoing maintenance, show dirt quickly and can be vulnerable to graffiti if publicly accessible.
5. Where the colour or finish differs from the main or existing building, proposals **should** demonstrate clear rational drawing from local context, history etc.
6. Original external pipework and guttering **should**, where possible, be repaired or reinstated in a like-for-like manner. Any new pipework **should** match or be an improvement on the existing, providing it is within the character of the streetscene, and **should** be restricted to the side and rear elevations of buildings where possible to avoid harming the appearance of the principal elevation.
7. Any architectural metalwork features, such as railings, canopies or balconies, **should** also be retained and repaired, or sensitively replaced to match the original.



“ The redesign of a property should still fit into its environment. ”

## 5.8 Roofs and rooflights

1. Roof material, form and detail are important to the character of a building. Repair and restoration of roof coverings **should** be proposed over wholesale replacement where parts of the original roof covering can survive.
2. Where roofs are being refurbished, original features such as keyhole ridge tiles or decorative chimney stacks and chimney pots **should** be reused, and where possible, re-instated if they have been removed.
3. Attention **should** be paid to matching any traditional overlap pattern, especially when using natural slate (and some tile types).
4. Rooflights can bring great benefit to a house by drawing natural light into the centre of a plan; areas which usually rely on artificial lighting only. Their size and location **must** be well considered, particularly when seen from the public realm.
5. Rooflights **must** be significantly subordinate both in size and number to the roof slope being altered and roof form overall.
6. The position of rooflights **should** take into account other architectural roof elements, e.g. gables, chimneys, turrets.
7. Where relevant, the position and dimensions of rooflights **should** ensure a consistent rhythm with other rooflights on adjacent/neighbouring roofs.
8. Rooflights on the roof of ground floor extensions, **should** be positioned away from the building line or obscured glazed to not cause excessive light pollution to neighbouring homes.



Rooflight brings extra light into kitchen and deeper into the house

## 5.9 Improving sustainability

1. LCC welcome alterations that improve the sustainability credentials and all homeowners **should** consider this when carrying out building work. In some cases, these projects may be given special dispensation if they contribute to the LCC's net zero aspirations.
2. Additions such as shutters and canopies **should** be considered on south, east and west façades as they will help reduce overheating through solar gain in summer months. Where proposed, they **must** be integrated into the design.
3. External wall cladding will have a significant impact on the visual appearance of the home and is generally only acceptable on rear elevations. Where the original facade is brick or stone or contains characterful design details, external wall insulation **must not** be proposed.
4. Solar or PV panels on a building **should** be sited, so far as is practicable, to minimise the effect on the external appearance of the building and the amenity of the area. On a pitched roof, panels **should not** be installed above the highest part of the roof (excluding the chimney) and **should** project no more than 200mm from the roof slope.
5. In a conservation area solar or PV panels may be acceptable in certain circumstances, however they **must not** be mounted on principal elevations or installed on a roof plane which fronts a highway. *For further information, refer to the Historic Environment SPD.*
6. Where proposed, air source heat pumps (ASHP) **should** have a minimal impact on the external appearance of the building. Applicants **should** consider its effect on the street scene and amenity of the local area.
7. The size of the ASHP **should** be proportionate to heating and hot water need for the home it is installed for.
8. If installed on a flat roof all parts of the ASHP **should** be at least one metre from the external edge of that roof.
9. In a conservation area ASHPs may be acceptable in certain circumstances, however they **must not** be installed on a wall or roof which fronts a highway and **should not** be visible from the public domain. *For further information, refer to the Historic Environment SPD.*
10. ASHPs **should** be located to minimise any noise nuisance to neighbours. Consider using sound absorbing enclosures to reduce breakout noise.
11. Water butts are an easy way to provide water for your garden without increasing water bills and **should** be proposed wherever possible. They connect into an existing down-pipe and are available in a range of sizes and styles.
12. The installation of EV charging points **should** be placed in discreet and unobtrusive locations – for example on the side of the building, on a porch, or by using evergreen planting to disguise it.

## 5.10 Front, rear and side gardens

1. Gardening is known to improve health and wellbeing. All proposals **should** make the most of the garden space available by ensuring good access and views
2. Proposals **should** retain, enhance or re-introduce original surface materials and boundary features, such as decorative paving, walls, railings and hedges, especially in conservation areas. Any new materials **should** be complementary to the host building and neighbouring ones.
3. There **should** be planting in all front gardens, as well as features to encourage wildlife and biodiversity.
4. Hard, impermeable (non-porous) finishes may be practical but, if over-specified, can look stark, reduce biodiversity, increase surface-water flooding and increase summer temperatures. A balance of hard and soft treatments **should** be targeted in all garden areas and permeable paving **should** be proposed where possible.
5. A minimum viable size of lawn is approximately 5m<sup>2</sup>. Any smaller and it may not establish and flourish. Artificial turf **should not** be proposed as it can cause environmental harm by releasing micro-plastics and restricts natural ecological processes so the soil beneath degrades. If lawns are not viable, other forms of planting or natural, permeable surface finishes **should** be considered.
6. A diverse range of trees, plants and bulbs **should** be introduced to improve biodiversity and help wildlife thrive.
7. Landscape proposals **should** consider the growth potential of new trees to ensure they do not dominate or cause harm to structures.
8. Space and upkeep **should** be considered when specifying new plants. Flowering species and night-scented climbers will help attract pollinating insects that in the UK are in decline. The Royal Horticultural Society (RHS) offers further online advice on plant species with wildlife benefit and how to encourage wildlife into gardens.
9. Proposals **should** consider leaving one part of a garden less-well attended to allow nature to take care of itself (re-wilding), leaving fallen leaves or logs available for wildlife.

“ Gardens have the ability to make someone feel relaxed and reduce stresses ... so someone of any age, physical and mental condition can live independently for as long as possible. ”



10. Bird and bat boxes **should** be installed on building structures or mature trees within the garden. Bird baths and feeding stations can also tempt wildlife with great success.
11. Bright garden lighting will disturb nocturnal wildlife species so **should** be limited in gardens. If gardens back onto existing strategic green spaces, this principle becomes even more significant.



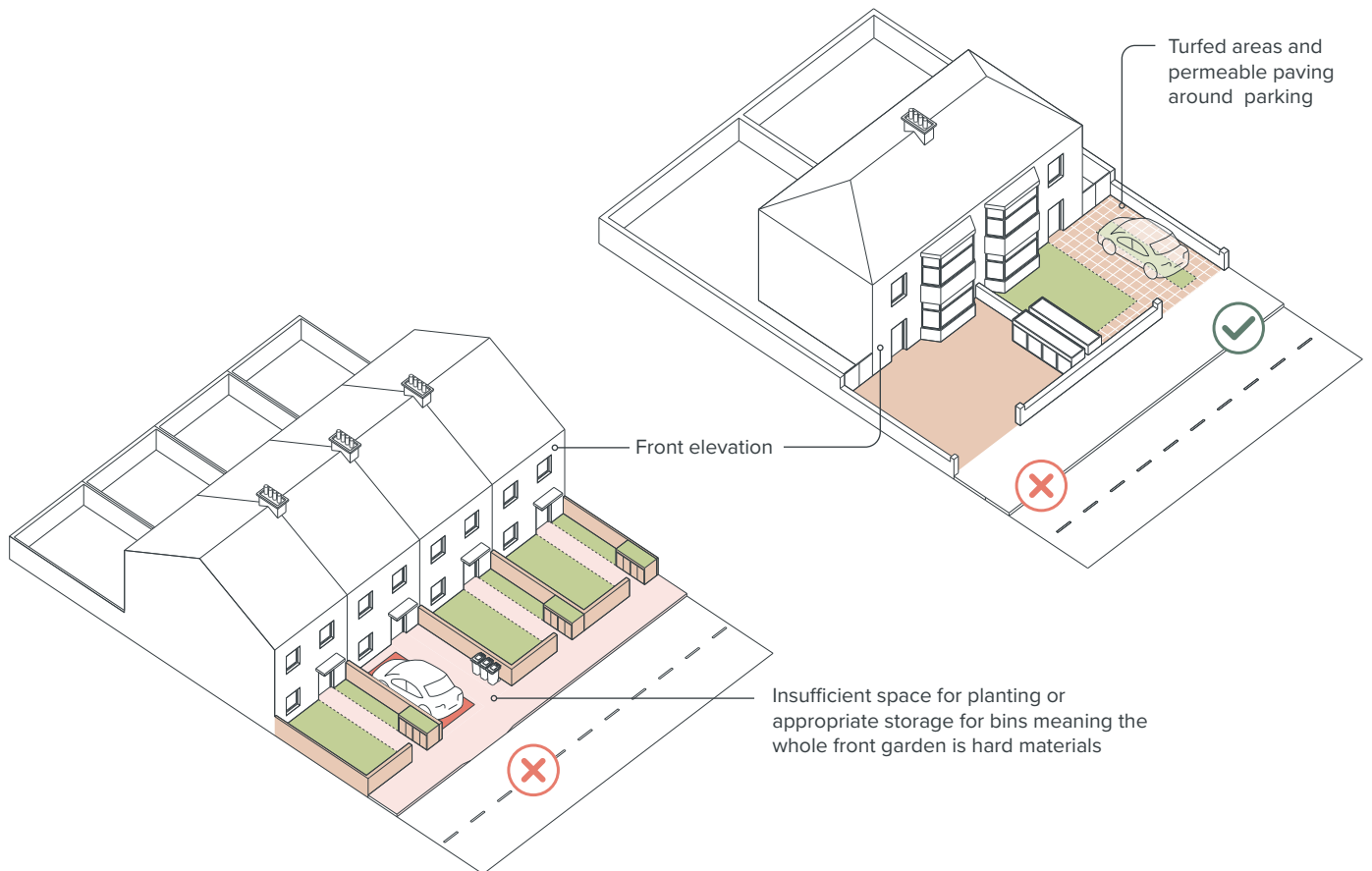
Rear extension that maximises connection with the garden without impacting neighbouring homes

“ Our garden is like another room of the house and is used constantly by the children. ”



## 5.11 Off street parking

1. In-curtilage parking improves the street scene. Therefore if an existing garage is capable of accommodating a care, it **should not** be converted into habitable space unless there is suitable parking in-curtilage elsewhere.
2. Converting front gardens to off-street parking **should not** be proposed where it changes the character of the street. A minimum of 30% of soft landscaping should be retained in the interests of wildlife and biodiversity.
3. Water run-off **should** be contained within the property boundary. Consider changing hard surfacing into permeable paving or directing water to a garden border or soak away that is located within the property boundary.



Parking on driveways will only be supported where there is enough space to retain soft landscaping

“ I don't drive myself but I feel that on street parking looks an absolute eyesore. ”



## 5.12 Boundary treatments

1. Boundary treatments, particularly those visible from the public realm, are an important and integral part of the character and appearance of the home. Any alterations **should** consider the effect of the appearance on the wider context / street. In general, boundary treatments **should** be in keeping with the context.
2. The boundary's dimensions, proportions, detailing and design **must** respect the existing character of the street and be subordinate to the host building.
3. The repair of boundary walls, fences and railings **should** be considered before full replacement.
4. Materials used **should** be robust and relate and complement the host building. Incorporation of planting with viable planting widths is encouraged. Integrated planting will afford some privacy, improve the street-scape and bring biodiversity.
5. Timber fences facing on to the public realm are generally not acceptable and **must not** be proposed in any new instance.
6. The design and construction of new boundary conditions (particularly those with strip foundations/footings) **should not** damage any existing trees / tree roots.
7. Designs **should** allow periodic gaps in the base of boundary treatments to allow passage of commuting species such as hedgehogs that are in rapid decline in the UK. These can also be retro-fitted by removing bricks or cutting a holes in the fence panels.



Front boundary of brick with evergreen hedge and integrated signage

## 5.13 Outbuildings and garden storage

1. Outbuildings and garden storage can improve the enjoyment and usability of gardens and provide a space for hobbies or somewhere private to work or study from home. Where proposed, they **should not** adversely impact the usable area of the garden nor extend to more than 50% of the garden area. Suitable space around the building **should** be retained for soft landscaping.
2. Where planning approval is not sought, outbuildings **must** adhere to the permitted development height rules.
3. Guidelines for extensions, in particular, those regarding size, scale, materials and privacy, also apply to outbuildings and **should** be integrated.
4. The siting, location, scale and design of the outbuilding **should** have a minimal visual impact on, and be visually subordinate within, the host garden.
5. Outbuildings **should not** detract from the open character of neighbouring gardens.
6. The location and construction of outbuildings **should** minimise any impact on all vegetation and adjacent structures including existing trees and their roots. Outbuildings that require removal of a mature tree will not be permitted.
7. The proposal **should** use materials which complement the host property and the overall character of the surrounding garden area.
8. The proposal **should** assess any impacts on water run-off and groundwater flows and demonstrate how these will be negated.
9. If the outbuilding takes up space previously used as garden, the proposal **should** consider provision of a green roof to replace planted area. This **should** have a soil depth of at least 100mm to allow plants to thrive.
10. Integrated storage for bins and cycles in front or rear gardens **should** be proposed where the space is available.
11. Composting is a way to reduce food waste and avoid the expense of buying garden compost. Compost bins are available in a range of sizes and styles and generally have little odour. Their use is encouraged, but they **must** be well located and well maintained to ensure they do not encourage vermin.
12. Designs **should** provide wildlife habitats such as bird and bat boxes on the structure or elsewhere in the garden or grounds.







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# Appendix

Term	Definition
1B1P (and 1B2P, 2B3P etc.)	Abbreviation for size of home and number of bedspaces i.e. 2B4P is a 2-bedroom home for 4 people, or a two bedroom home with two double / twin bedrooms.
Adopted or adoptable standards	Specification of external finishes for public realm which the local authority is willing to inherit and able to manage and maintain.
Approved Documents (AD-M, AD-O etc)	Sets of guidance documents published by the government that provide practical solutions and examples for meeting the requirements of the Building Regulations. They are available on the .gov website.
Balcony / Terrace / Roof Terrace	Private area of outside space dedicated to a single home.
Biodiversity Net Gain (BNG)	A measured approach to land management that ensures a development leaves the natural environment in a better state than before it was undertaken. It is achieved by delivering improvements to biodiversity through habitat creation or enhancement.
Blue Badge parking	Car parking concessions available to people with disabilities or certain health conditions, normally those that make walking difficult. Spaces can be used for any vehicle where the card holder is travelling as they are linked to the individual not the vehicle.
Building Research Establishment (BRE)	Organisation dedicated to developing solutions to aid or measure built environment challenges. In this Guide, it is referenced with respect to daylight and sunlight tests to evaluate how a new development impacts the amount of natural light and sunlight received by neighbouring properties and buildings, as well as the amount of light within the new development itself. The specific document to reference is 'Site layout planning for daylight and sunlight: a guide to good practice,' latest edition.
Build to rent (BTR)	Homes that are specifically designed and built to be managed and let to renters, of any tenure.
Co-living	Purpose-built residential developments to provide private rooms with communal facilities. These schemes can be entirely new-build developments or conversions of existing buildings to facilitate co-living arrangements. In planning terms, co-living developments are classified as 'sui generis', meaning they fall outside of conventional use classes, and they are considered non-self-contained market housing. Unlike other accommodation types, co-living schemes are not restricted to specific occupational groups such as students, healthcare professionals, or those in temporary or emergency housing.  HMOs with 19 or more bedrooms will be considered co-living by LCC.

Term	Definition
Communal	Shared between all residents within a building or development, but not accessible to the public.
Density	A calculation of number of d/ha (dwellings (homes) per hectare) or hr/ha (habitable rooms per hectare). The calculation gives a figure of the number of homes that would be proposed if this scale of development was proposed on a one hectare site, to give a comparable figure across all schemes.
d/ha	Used to understand the density of the development. Dwellings (homes) per hectare. Calculated to measure of the number of homes in an area in a comparable way.
Extra Care	Planning use class C2. A form of specialist later living housing for older adults (typically aged 55+) with a self-contained home in a community. Extra care offers support services and amenities on site, including personal care and domestic assistance 24/7. There are permanent staff on site and a range of communal areas which may include dining areas for residents to eat together.
Family sized home	This is a home with 3 or more bedrooms, although it is understood that two generations can live in homes with 2 bedrooms.
Fenestration	The arrangement and design of window, doors, shutters, grilles etc. Any opening on a building facade.
Form factor	The ratio of the building's exposed external surface area to its gross internal floor area. A lower form factor means less external surface area per unit of floor area, reducing heat loss through the building envelope and improving energy efficiency.
Habitable room	<p>A room where somebody will spend living or downtime. All bedrooms, living rooms, studies and dining rooms are habitable rooms. Bathrooms, WCs, utility rooms hallways are not habitable rooms. Any open plan living area (including combined kitchen / diners) over 29m<sup>2</sup> counts as 2no habitable rooms for the purpose of any density calculation, as it is conceivable that two independent activities could take place.</p> <p>Standalone kitchens are not normally counted as habitable rooms, as the activity in that room is limited, but some of the requirements apply. Refer to specific guidance points.</p>
Higher density	Density greater or more concentrated than the surrounding context.

Term	Definition
Houses in multiple occupation (HMO)	<p>This housing type can be classified into two categories: Small HMOs (use class C4) and Large HMOs (use class sui generis).</p> <p>Small HMOs accommodate between 3 and 6 occupants sharing basic amenities. Large HMOs house 7 to 18 occupants. The maximum number of occupants will be controlled by condition.</p> <p>For developments with 19+ bedspaces of non-self-contained housing, the Council will seek to apply guidance for co-living housing.</p> <p>Guidance will apply to 'new' HMOs which may comprise change of use or purpose-built new build schemes.</p>
Independent Living	<p>Planning use class C3. A form of later living housing for older adults (typically aged 55+) with a self-contained home in a community. Optional support services and amenities are typically brought in, and not permanently located within the scheme. There may be no staff permanently on site, meaning residents live completely independently. There may be some communal space used for access to services and communal activities.</p>
Later living	<p>Housing for older people, often over 55 years (but will vary depending on developer or provider). These homes can be of any type, tenure or size, but are often 1 or 2 bedroom flats. No children are expected to live in these developments.</p> <p>This guide covers two types of later living; independent living (which is planning use class C3) and extra care (which is planning use class C2 or C3). The name and planning classification depends mainly on the level of shared facilities and the amount of care provided on site.</p>
LCC / The Council	Liverpool City Council
Local Planning Authority (LPA)	Liverpool City Council planning department
Maisonette	A home with more than one storey within a shared building. It can be across any levels, not necessarily at ground and first floor.
Major development / scheme / application	An application of more than ten homes. This refers to total built homes, not a net increase. i.e. if six homes are demolished and ten are built (a net increase of four homes) the scheme is still a major application.
Must / must not	<p>Written in bold throughout the guidance, LCC have used the terms 'must' or 'must not' to describe a clause that is a requirement. Deviation, by exception, must be well justified and discussed with the LPA ahead of the planning application.</p>

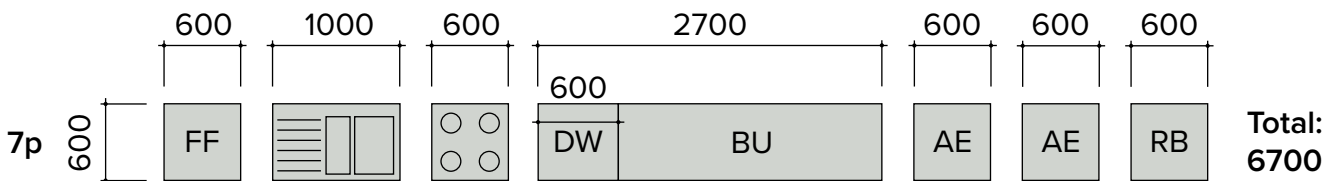
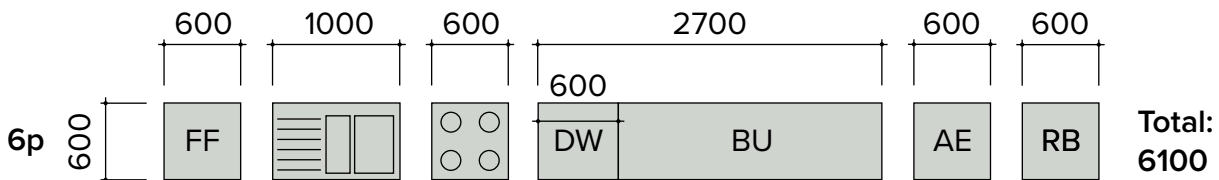
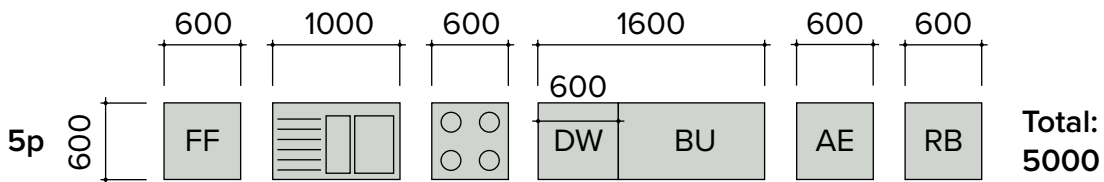
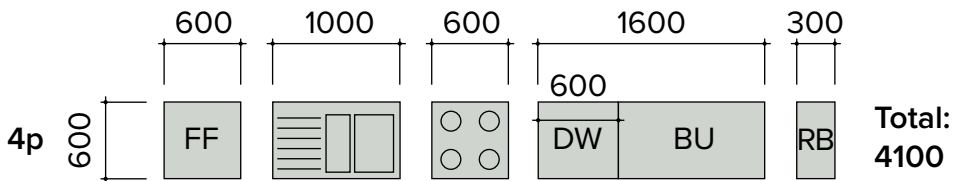
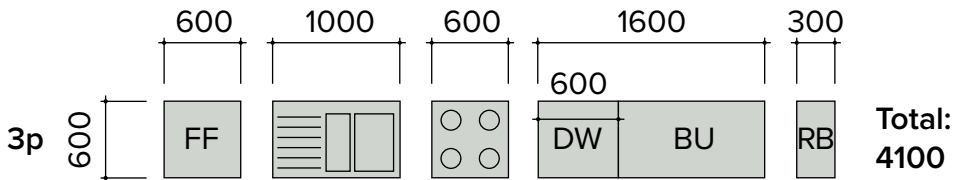
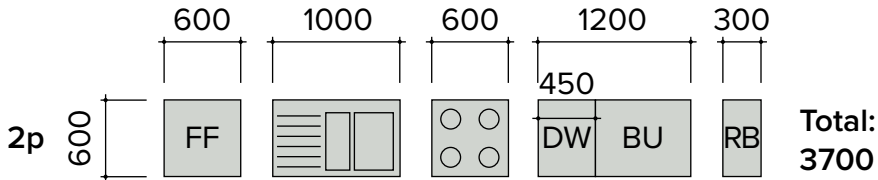
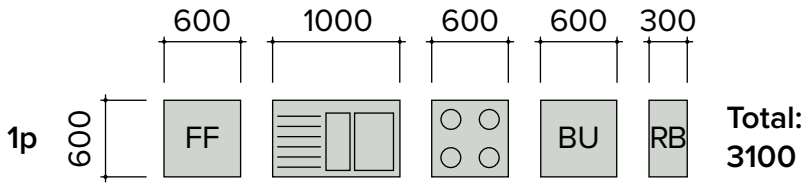
Term	Definition
Nationally Described Space Standards (NDSS)	A national standard for space within homes, that local authorities can choose to adopt. Liverpool City Council have adopted this and require all C3 homes to achieve the requirements. Throughout the Guide, there are some instances where there is a requirement for other types of housing to meet certain NDSS criteria as a Liverpool preference to ensure quality.
National Planning Policy Framework (NPPF)	A document published by the UK government that sets out planning policies for England and how these should be applied. It provides a framework for local authorities when preparing development plans and making decisions on planning applications.
Open space	High quality external space that is open to the public and not designated to residents within a building or development.
Outdoor amenity	High quality, usable, dedicated outside space, either private (for sole use by one household) or communal (for use solely by residents within a building or development). Car parks, service areas and access routes are not considered part of amenity spaces.
Pedestrians	People who use the streets including walking, jogging, people with walking aids or wheelchairs and people with children's buggies. It does not include adults on scooters, cyclists or moped drivers.
Permitted development (PD)	National rights that allow homeowners to undertake certain types of building work or changes of use without needing to apply for planning permission. The information in Chapter 5 echoes many of these standards and expands on the detail.
Positively drained	With respect to drainage and rainwater design, water is collected on a waterproof surface and directed to a piped outlet into the wider drainage network. For example, it means a balcony does not free drain by running through the deck to the level below.
Private outdoor amenity spaces	Outside space for the sole use by one household. The measured area must be secure, high quality, usable and meet the accessibility requirement of the home. Space designated for parking or storing bikes or refuse do not count towards the total measurable area.
Purge ventilation	The rapid exchange of indoor air with fresh outdoor air, primarily achieved by opening windows, vents or or doors, to quickly remove pollutants, excess heat, or humidity. This is within the residents control, rather than a mechanised form of ventilation

Term	Definition
Purpose-built student accommodation (PBSA)	A form of housing specifically designed and developed for students undertaking full-time higher or further education courses. It is most commonly classified as 'sui generis' within planning law, meaning it does not fit into a defined use class. It often shares operational characteristics with hotels (C1 use class), as it typically includes management arrangements for day-to-day operations and on-site facilities such as laundry, reception, and communal spaces.
Student accommodation	LCC requires all students to share cooking, dining and living facilities in groups of up to eight 'student bedrooms' or 'student studios'. There must be no more than 20% 'student studios' within each development.
Rooflight	Any window with a cill higher than 1.2m from the finished floor level.
Should / should not	Written in bold throughout the guidance, LCC have used the terms 'should' or 'should not' to describe a clause that is an expectation describing best practice. Deviation, should be justified and discussed with the LPA ahead of the planning application.
Step-free	A route without any steps, allowing access for people with mobility impairments, including wheelchair users. It may include ramps or lifts to navigate changes in level. It is further defined in Approved Document M: Access to and use of buildings, Vol 2 (AD-M)
Street	A highway with public realm functions beyond the movement of traffic. Most critically, streets should have a sense of place, which is mainly realised through local distinctiveness and sensitivity in design. They also provide direct access to the buildings and the spaces that line them. Most highways in built-up areas can therefore be considered as streets.
Student housing	See purpose-built student accommodation
Supplementary planning document (SPD)	A document that provides further guidance on how planning policies in a Local Plan will be implemented. SPDs are not part of the statutory development plan, but they are a material consideration in planning decisions.
Sustainable drainage systems (SuDS)	These systems are designed to manage surface water runoff in a way that mimics natural drainage processes, reducing flood risk and improving water quality.

Term	Definition
Thermal line	A conceptual line that represents the continuous layer of thermal insulation in a building envelope, separating the conditioned spaces (heated or cooled) from the unconditioned spaces and/or exterior.
Townhouse	A standalone narrow, multi-floor, terraced house, typically dual aspect and for a single-family. It is not part of a larger building (see maisonette).
Urban greening factor (UGF)	A planning tool and metric used to evaluate and increase the quality and quantity of green infrastructure (e.g., green roofs, trees, vegetation) in new urban developments.
Use class	A planning use class is a category that defines the allowed purpose for which land and buildings can be used, as outlined nationally in the Town and Country Planning (Use Classes) Order 1987.

# B

## Kitchen furniture schedule



**Key:**

- FF Fridge/ Freezer (tall unit)
- BU Base unit (can be swapped out for a tall unit)
- RB Rubbish (refuse and / or recycling) bin
- DW Dishwasher
- AE Ancillary equipment. Space for additional appliance in larger homes

Wall units are encouraged in addition to the spaces shown.

**Notes:**

- Wheelchair accessible homes AD-M4(3) will require longer worktops runs - refer to Approved Document M requirements
- Washing machines should be in a separate utilities cupboard. Where they are included in kitchens, they must be in addition to the total lengths stated.

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10	Liverpool residents making place-specific comments on their neighbourhoods	If-Do
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10	Liverpool students debating most important aspects of new housing at Schools Parliament event	Liverpool City Council
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27	Welsh Streets	Placefirst
28	Granby Winter Garden	Assemble Studio
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71	Eyewitness Works	Shed KM / Photo: Bellboy
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74	Burridge Gardens	Hawkins\Brown / Photo: Jack Hobhouse
75	Sutherland Road	Levitt Bernstein
78	Brick House at Port Loop	Howells ©Greg Holmes

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PLANNING FOR A FAIRER, CLEANER, STRONGER CITY